

# PICO RIVERA GENERAL PLAN UPDATE

Final Program Environmental Impact Report  
SCH #2014041021

Prepared for  
City of Pico Rivera

October 2014



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### ***Published under separate cover in the Draft Environmental Impact Report***

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# CHAPTER 7

## Mitigation Monitoring and Reporting Program

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The Executive Summary and Chapter 3 of this Program EIR identify the mitigation measures that will be implemented to reduce the impacts associated with the Pico Rivera General Plan Update project. The California Environmental Quality Act (CEQA) was amended in 1989 to add Section 21081.6, which requires a public agency to adopt a monitoring and reporting program for assessing and ensuring compliance with any required mitigation measures applied to proposed development.

As stated in Public Resources Code Section 21081.6,

*. . . the public agency shall adopt a reporting or monitoring program for the changes to the project which it has adopted, or made a condition of project approval, in order to mitigate or avoid significant effects on the environment.*

Public Resources Code Section 21081.6 provides general guidelines for implementing mitigation monitoring programs and indicates that specific reporting and/or monitoring requirements, to be enforced during project implementation, shall be defined prior to final certification of the EIR.

The mitigation monitoring table below lists those mitigation measures that may be included as conditions of approval for the project. These measures correspond to those summarized in the Executive Summary and detailed throughout Chapter 3. To ensure that the mitigation measures are properly implemented, a monitoring program has been devised that identifies the timing and responsibility for monitoring each measure. The applicant/developer of specific future projects will have the responsibility for implementing the measures, and the various City of Pico Rivera departments will have the primary responsibility for monitoring and reporting the implementation of the mitigation measures.

**PICO RIVERA GENERAL PLAN UPDATE PROGRAM ENVIRONMENTAL IMPACT REPORT**  
**MITIGATION MONITORING AND REPORTING PROGRAM**

Impact	Monitoring Phase	Enforcement Agency	Responsible Monitoring Agency	Action Indicating Compliance	Monitoring Frequency
<b>Traffic and Circulation</b>					
<p><b>MM-CIRC-1:</b> Upon adoption of the proposed General Plan Update, the City shall pursue funding options, such as transportation and growth management grants, to implement the system-wide signal timing improvements at all intersections within the city.</p>	When LOS falls below D, and and, as appropriate, project-specific conditions of approval	City of Pico Rivera	City of Pico Rivera Department of Public Works	Verification that improvement is constructed	Ongoing
<p><b>MM-CIRC-2:</b> The City shall monitor the performance of the intersections listed below on an on-going basis and ensure that the specified improvements occur at these intersections prior to or concurrent with development occurring under the General Plan that would increase the peak-hour delay and cause the intersection LOS to deteriorate to unsatisfactory levels:</p> <p>4. Paramount Boulevard/Washington Boulevard: Convert the eastbound and westbound left turn signal phases to protected-permitted phasing.</p> <p>8. Rosemead Boulevard/Gallatin Road: Convert one receiving lane on the west leg to a second left turn lane. The resulting intersection geometry west of Rosemead Boulevard will include one westbound lane, two eastbound left turn lanes (of 100 feet of storage or more), one eastbound through lane, and an eastbound right turn lane.</p> <p>9. Rosemead Boulevard/Beverly Boulevard: Convert signal phasing to provide protected left turns for eastbound and westbound left turns. Prohibit U-turns for the southbound and westbound directions and provide right turn overlap phases for the westbound and northbound right turns.</p> <p>10. Rosemead Boulevard/Whittier Boulevard: Convert signal phasing to provide permitted-protected phasing for all left turns. Provide right turn overlap phase for the westbound right turn and prohibit U-turns in the southbound direction.</p> <p>12. Rosemead Boulevard/Washington Boulevard: Convert the northbound and westbound left turn signal phases to protected-permitted phasing.</p> <p>14. Rosemead Boulevard/Slauson Avenue: Convert the eastbound and westbound left turn signal phases to protected-permitted phasing.</p> <p>15. Rosemead Boulevard/Telegraph Road: Convert signal phasing to provide permitted-protected phasing for all left turns. Provide right turn overlap phase for the northbound right turn and prohibit U-turns in the westbound direction. Restripe to provide a eastbound right turn lane.</p> <p>24. San Gabriel River Parkway/Beverly Boulevard: Convert the eastbound and westbound left turn signal phases to protected-permitted phasing. Convert the westbound right turn lane to a shared through-right turn lane and convert the southbound free right-turn lane to provide a right turn overlap phasing. The receiving lane for the southbound free right turn will become the receiving lane for the additional westbound through lane.</p>	When LOS falls below D, and and, as appropriate, project-specific conditions of approval	City of Pico Rivera	City of Pico Rivera Department of Public Works	Verification that improvement is constructed	Ongoing

Impact	Monitoring Phase	Enforcement Agency	Responsible Monitoring Agency	Action Indicating Compliance	Monitoring Frequency
<p>Air Quality</p> <p><b>MM-AQ-1:</b> The following mitigation measures shall be incorporated for all discretionary projects in the Planning Area associated with implementation of the proposed General Plan Update to minimize pollutant emissions associated with construction activities:</p> <ul style="list-style-type: none"> <li>• Construction activities shall require the use of 2010 and newer diesel haul trucks (e.g., material delivery trucks and soil import/export) to the extent feasible. Under conditions where it is determined that 2010 model year or newer diesel trucks are not readily available or obtainable for a project, the applicant shall be required to provide this evidence to the City and shall instead use trucks that meet USEPA 2007 model year emissions requirements.</li> <li>• Prior to January 1, 2015, all off-road diesel-powered construction equipment greater than 50 horsepower shall meet Tier 3 off-road emissions standards. In addition, all stationary construction equipment shall be outfitted with the BACT devices certified by CARB. Any emissions control device used by the contractor shall achieve emissions reductions that are no less than what could be achieved by a Level 3 diesel emissions control strategy for a similarly sized engine as defined by CARB regulations. A copy of each equipment unit's certified tier specification, BACT documentation, and CARB or SCAQMD operating permit shall be provided to the City at the time of mobilization of each applicable unit of equipment.</li> <li>• Post January 1, 2015, all off-road diesel-powered construction equipment greater than 50 horsepower shall meet Tier 4 emission standards, where available. In addition, all stationary construction equipment shall be outfitted with the BACT devices certified by CARB. Any emissions control device used by the contractor shall achieve emissions reductions that are no less than what could be achieved by a Level 3 diesel emissions control strategy for a similarly sized engine as defined by CARB regulations. A copy of each equipment unit's certified tier specification, BACT documentation, and CARB or SCAQMD operating permit shall be provided to the City at the time of mobilization of each applicable unit of equipment.</li> </ul>	Pre-Construction/ Construction	City of Pico Rivera	City of Pico Rivera Department of Public Works	Issuance of Grading Permit and field verification and sign-off by City of Pico Rivera	Ongoing
<p><b>MM-AQ-2:</b> For all future discretionary projects in the Planning Area associated with implementation of the proposed General Plan Update, the applicant for each individual development project shall require by contract specifications that construction-related equipment, including heavy-duty equipment, motor vehicles, and portable equipment, shall be turned off when not in use for more than five minutes. Contract specification language shall be reviewed by the City prior to issuance of a grading permit.</p>	Pre-Construction	City of Pico Rivera	City of Pico Rivera Department of Public Works	Issuance of Grading Permit and field verification and sign-off by City of Pico Rivera	Ongoing

Impact	Monitoring Phase	Enforcement Agency	Responsible Monitoring Agency	Action Indicating Compliance	Monitoring Frequency
<b>MM-AQ-3:</b> For all future discretionary projects in the Planning Area associated with implementation of the proposed General Plan Update, the applicant for each individual development project shall require by contract specifications that construction operations rely on the electricity infrastructure surrounding the construction site rather than electrical generators powered by internal combustion engines to the extent feasible. Contract specification language shall be reviewed by the City prior to issuance of a grading permit.	Pre-Construction	City of Pico Rivera	City of Pico Rivera Department of Public Works	Issuance of Grading Permit and field verification and sign-off by City of Pico Rivera	Ongoing
<b>MM-AQ-4:</b> For all future discretionary projects in the Planning Area associated with implementation of the proposed General Plan Update, the applicant for each individual development project shall require by contract specifications that all off-road construction equipment engines shall be maintained in good condition and in proper tune per manufacturer's specifications, to the satisfaction of the City Engineer. Equipment maintenance records and equipment design specifications data sheets shall be kept onsite during construction for periodic review by the City Inspector. Contract specification language shall be reviewed by the City prior to issuance of a grading permit.	Pre-Construction/ Construction	City of Pico Rivera	City of Pico Rivera Department of Public Works	Issuance of Grading Permit and field verification and sign-off by City of Pico Rivera	Ongoing
<b>MM-AQ-5:</b> Future project-level development shall document project construction emissions prior to City approval of a project. If it is shown that a development would generate construction-related VOC emissions exceeding SCAQMD's threshold, the architectural coatings phase for that project shall use coatings and solvents with a VOC content lower than that required under SCAQMD Rule 1113.	Construction	City of Pico Rivera	City of Pico Rivera Department of Public Works	Issuance of Grading Permit and field verification and sign-off by City of Pico Rivera	Ongoing
<b>MM-AQ-6:</b> The City shall encourage all construction contractors to apply for SCAQMD "SOON" funds, which provides funds to accelerate clean up of off-road diesel vehicles such as heavy-duty construction equipment.	Pre-Construction	City of Pico Rivera	City of Pico Rivera Department of Public Works	Issuance of Grading Permit	Ongoing
<b>MM-AQ-7:</b> All future discretionary projects in the Planning Area subject to CEQA environmental review shall conduct a project-specific localized emissions analysis that identifies the project's construction emissions using either SCAQMD's LST screening tables (for projects that are less than five acres) or dispersion modeling (for projects that exceed five acres in size). Where it is determined that construction emissions would exceed the applicable LSTs or the most stringent applicable federal or state ambient air quality standards, the project shall reduce its daily construction intensity (e.g., reducing the amount of equipment used daily, reducing the amount of soil graded/excavated daily, etc.) and/or use off-road construction equipment outfitted with the most stringent emissions control technology (e.g., equipment meeting Tier 4 emissions standards) such that the project's resulting construction emissions would no longer exceed SCAQMD's LSTs or result in pollutant emissions that would cause or contribute to an exceedance of the most stringent applicable federal or state ambient air quality standards.	Pre-Construction	City of Pico Rivera	City of Pico Rivera Department of Public Works	Issuance of Grading Permit and field verification and sign-off by City of Pico Rivera	Ongoing

Impact	Monitoring Phase	Enforcement Agency	Responsible Monitoring Agency	Action Indicating Compliance	Monitoring Frequency
<p><b>MM-AQ-8:</b> New sensitive land uses occurring in the Planning Area under the proposed General Plan Update shall not be located within a 1,000-foot distance from any existing or proposed distribution center/warehouse facility that generates more than 100 trucks per day, more than 40 trucks with operating TRUs per day, or where TRU unit operations exceed 300 hours per week. Under conditions where the 1,000-foot siting distance cannot be met, a health risk assessment (HRA) shall be conducted to evaluate the health risks to the new sensitive land uses from the TAC emissions generated from the mobile sources associated with the distribution center/warehouse facility. Based on the findings in the HRA, appropriate measures shall be taken, if necessary, to reduce the cancer risk resulting from TAC-exposure from mobile sources to below 10 in one million for the maximally-exposed individual. These measures may include, but are not limited to, implementation of appropriate Minimum Efficiency Reporting Value (MERV) filters at the new sensitive land use development.</p>	Pre-Construction	City of Pico Rivera	City of Pico Rivera Community & Economic Development Department	Issuance of Grading Permit	Ongoing
<p><b>Noise</b></p>					
<p><b>MM-NOI-1:</b> The City shall consider all future developments within the Planning Area to ensure their compliance with Policies 11.1-1 through 11.2-6 in the Noise Element of the General Plan Update and determine if operational noise levels generated by the development would exceed the City's permissible noise standards for transportation and stationary noise sources established in the Noise Element. If City noise standards would be exceeded, design measures shall be taken to ensure that operational noise levels would be reduced to levels that comply with the permissible City noise standards to the extent feasible. These measures may include, but are not limited to, the erection of noise walls, use of landscaping, and/or the design of adequate setback distances for the new developments.</p>	Pre-Construction/ Construction	City of Pico Rivera	City of Pico Rivera Community & Economic Development Department	Issuance of a Certificate of Occupancy	Ongoing
<p><b>MM-NOI-2:</b> Approval of development permits shall ensure that the operating hours of all future industrial-related developments that are located adjacent to residential properties within the Planning Area be restricted from 7 A.M. to 7 P.M., Sunday through Saturday, and that noise levels generated by the industrial operation be prohibited from exceeding 65 dBA at all times when measured from an adjacent residential property line pursuant to Section 18.40.050 of the City's Municipal Code.</p>	Pre-Construction/ Construction	City of Pico Rivera	City of Pico Rivera Community & Economic Development Department	Issuance of Development Permit	Ongoing
<p><b>MM-NOI-3:</b> Approval of development permits shall ensure that the operation of construction equipment that generates high levels of vibration, such as large bulldozers, loaded trucks, and caisson drills, shall be prohibited within 45 feet of residential structures and 35 feet of institutional structures during construction of any project-specific development in the Planning Area to the extent feasible. Small, rubber-tired construction equipment shall be used within this area during demolition and/or grading operations to reduce vibration effects, where feasible.</p>	Pre-Construction/ Construction	City of Pico Rivera	City of Pico Rivera Community & Economic Development Department	Issuance of Development Permit	Ongoing



Impact	Monitoring Phase	Enforcement Agency	Responsible Monitoring Agency	Action Indicating Compliance	Monitoring Frequency
<b>MM-NOI-4:</b> Approval of development permits shall ensure that the operation of jackhammers shall be prohibited within 25 feet of existing residential structures and 20 feet of institutional structures during construction activities associated with any project-specific development in the Planning Area, to the extent feasible.	Pre-Construction/ Construction	City of Pico Rivera	City of Pico Rivera Community & Economic Development Department	Issuance of Development Permit	Ongoing
<b>MM-NOI-5:</b> Approval of development permits shall ensure that where pile driving activities are required during the construction of any project-specific development that is located adjacent to a sensitive receptor (e.g., residence, school, hospital, etc.) in the Planning Area, alternative installation methods that generates less vibration levels (e.g., use of sonic/vibratory pile drivers, screw piles, cast-in-place systems, pre-loading, etc.) shall be used where possible.	Pre-Construction/ Construction	City of Pico Rivera	City of Pico Rivera Community & Economic Development Department	Issuance of Grading Permit	Ongoing
<b>MM-NOI-6:</b> Approval of development permits shall ensure that where a new development would be constructed adjacent to an existing historic building within the Planning Area, the project developer shall require by contract specifications that a certified structural engineer be retained to submit evidence that the operation of vibration-generating equipment associated with the new development would not result in any structural damage to the adjacent historic building. Contract specifications shall be included in the construction documents for the new development, which shall be reviewed by the City prior to issuance of a construction permit.	Pre-Construction/ Construction	City of Pico Rivera	City of Pico Rivera Community & Economic Development Department	Issuance of Grading Permit	Ongoing
<b>MM-NOI-7:</b> The City shall ensure that project approvals within the Planning Area require that construction activities whose specific location on a construction site may be flexible (e.g., operation of compressors and generators, pavement mixing, general truck idling) be conducted as far as possible from the nearest noise-sensitive land uses.	Pre-Construction/ Construction	City of Pico Rivera	City of Pico Rivera Community & Economic Development Department	Issuance of Grading Permit and field verification and sign-off by City of Pico Rivera	Ongoing
<b>MM-NOI-8:</b> The City shall ensure that project approvals within the Planning Area require that the use of construction equipment or construction methods with the greatest peak noise generation potential will be minimized. Examples include the use of drills and jackhammers. When impact tools (e.g., jack hammers, pavement breakers, and caisson drills) are necessary, they shall be hydraulically or electrically powered wherever possible.	Pre-Construction/ Construction	City of Pico Rivera	City of Pico Rivera Community & Economic Development Department	Issuance of Grading Permit and field verification and sign-off by City of Pico Rivera	Ongoing
<b>MM-NOI-9:</b> The City shall ensure that project approvals within the Planning Area require that stationary construction noise sources be located as far from adjacent receptors as possible, and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or other measures to the extent feasible.	Pre-Construction/ Construction	City of Pico Rivera	City of Pico Rivera Community & Economic Development Department	Issuance of Grading Permit and field verification and sign-off by City of Pico Rivera	Ongoing

Impact	Monitoring Phase	Enforcement Agency	Responsible Monitoring Agency	Action Indicating Compliance	Monitoring Frequency
<b>MM-NOI-10:</b> The City shall ensure that project approvals within the Planning Area require that all construction truck traffic be restricted to routes approved by the City of Pico Rivera, which shall avoid residential areas and other sensitive receptors to the extent feasible.	Pre-Construction/ Construction	City of Pico Rivera	City of Pico Rivera Department of Public Works	Issuance of Grading Permit and field verification and sign-off by City of Pico Rivera	Ongoing
<b>MM-NOI-11:</b> The City shall ensure that project approvals within the Planning Area require project applicants to designate a construction relations officer to serve as a liaison with surrounding residents and property owners who is responsible for responding to any concerns regarding construction noise and vibration. The liaison's telephone number(s) shall be prominently displayed at construction locations.	Pre-Construction/ Construction	City of Pico Rivera	City of Pico Rivera Community & Economic Development Department	Issuance of Grading Permit	Ongoing
<b>MM-NOI-12:</b> The City shall ensure that project approvals within the Planning Area require a preconstruction meeting with the City's job inspector(s) and the general contractor or onsite project manager to confirm that noise and vibration mitigation and practices (including construction hours, sound mufflers on equipment, neighborhood notification, posted signs, etc.) are implemented.	Pre-Construction	City of Pico Rivera	City of Pico Rivera Department of Public Works	Issuance of Grading Permit	Ongoing
<b>MM-NOI-13:</b> Approval of development permits shall ensure that individual developments occurring within the Planning Area shall minimize noise impacts from mechanical equipment, such as ventilation and air conditioning units, by locating equipment away from receptor areas, installing proper acoustical shielding for the equipment, and incorporating the use of parapets into building design to ensure that noise levels shall not exceed the noise level standards for stationary noise sources in the Noise Element of the General Plan Update.	Pre-Construction/ Construction	City of Pico Rivera	City of Pico Rivera Community & Economic Development Department	Issuance of Grading Permit and field verification and sign-off by City of Pico Rivera	Ongoing
<b>MM-NOI-14:</b> All new commercial and industrial uses occurring within the Planning Area shall locate, to the extent feasible, their respective loading areas on the opposite side of the building where an adjacent noise-sensitive land use (e.g., residential, school, hospital, etc.) is located in order to direct the truck-related noise levels away from these uses.	Plan Review	City of Pico Rivera	City of Pico Rivera Community & Economic Development Department	Approval of Development Permit	Ongoing
<b>MM-NOI-15:</b> All loading docks associated with the new commercial and industrial uses occurring in the Planning Area that are located adjacent to noise-sensitive uses shall be designed with proper and sufficient shielding to ensure that truck-related noise levels shall not exceed the ambient noise level on the premises of adjacent residential properties by more than five decibels.	Plan Review	City of Pico Rivera	City of Pico Rivera Community & Economic Development Department	Approval of Development Permit	Ongoing

Impact	Monitoring Phase	Enforcement Agency	Responsible Monitoring Agency	Action Indicating Compliance	Monitoring Frequency
<b>Water Supply</b>					
<b>MM-GRW-1:</b> The City shall not approve development beyond anticipated 2025 growth projections until securing additional water supplies or demonstrating in the UWMPs or project-specific Water Supply Assessment that water supply amounts are available to meet existing and project water demand.	When City's population nears 2025 projections and, as appropriate, project-specific conditions of approval	City of Pico Rivera	City of Pico Rivera Department of Public Works	Approval of Development Permits	Ongoing
<b>Public Services</b>					
<b>MM-PS-1:</b> The City shall explore the feasibility of adopting development impact fees that require new development to fund its fair share of improvements that are needed to maintain law enforcement service standards, facilities, and equipment.	Upon adoption of General Plan	City of Pico Rivera	City of Pico Rivera Community & Economic Development Department	Adoption of development fees	Ongoing
<b>MM-PS-2:</b> City staff shall coordinate with LASD to plan upgrades and expansion of their existing facility, or to identify sites for a new facility, in order to accommodate the additional police protection resources that will be required to adequately meet the demand generated by the proposed General Plan Update.	Upon adoption of General Plan	City of Pico Rivera	City of Pico Rivera Community & Economic Development Department	Adoption of General Plan Update	Ongoing

# CHAPTER 8

## Response to Comments

As stated in *CEQA Guidelines*, Sections 15132 and 15362, the Final EIR must contain information summarizing the comments received on the Draft EIR, either verbatim or in summary; a list of persons commenting; and the response of the lead agency to the comments received. This chapter provides copies of the letters received and the responses to the comments in the letters. A summary of the comments is provided below in **Table 8-1**.

**TABLE 8-1**  
**LIST OF COMMENTS RECEIVED**

Letter Alpha	Agency/Commenter	Date of Letter	Date Received by City	Environmental Issues
A	Watershed Conservation Authority	September 10, 2014	September 10, 2014	<ul style="list-style-type: none"> <li>No environmental issues are raised. The commenter expresses concern regarding proposed zoning changes.</li> </ul>
B	County of Los Angeles Department of Parks and Recreation	September 15, 2014	September 15, 2014	<ul style="list-style-type: none"> <li>Provides corrections to information about Department of Parks and Recreation facilities contained in Section 3.9 of the EIR.</li> </ul>
C	Los Angeles Department of Power and Water <sup>1</sup>	September 9, 2014	September 16, 2014	<ul style="list-style-type: none"> <li>Notes that the proposed General Plan Update includes changes within a LADWP right-of-way and provides requirements related to any changes that would occur within that right-of-way from implementation of the proposed General Plan Update.</li> </ul>
D	State of California Office of Planning and Research <sup>1</sup>	September 16, 2014	September 19, 2014	<ul style="list-style-type: none"> <li>Confirms that the comment period for the Draft EIR closed and the Office of Planning and Research received no comments from other State agencies within the comment period.</li> </ul>
E	United States Fish and Wildlife Service <sup>1</sup>	September 19, 2014	September 19, 2014	<ul style="list-style-type: none"> <li>Notes that there is designated critical habitat for the federally threatened coastal California gnatcatcher within a portion of the proposed Sports Arena Opportunity Area.</li> </ul>
F	State of California Department of Transportation <sup>1</sup>	September 18, 2014	September 22, 2014	<ul style="list-style-type: none"> <li>Reminds the City to work with other cities to address cumulative impacts on State facilities and develop fair share fee programs and traffic impact fees to address cumulative impacts on State facilities.</li> </ul>

Letter Alpha	Agency/Commenter	Date of Letter	Date Received by City	Environmental Issues
G	The Southern California Gas Company <sup>1</sup>	September 22, 2014	September 22, 2014	<ul style="list-style-type: none"> <li>No environmental issues are raised. The commenter states that The Southern California Gas Company has facilities in the project area available to serve the project and that gas usage estimates for residential and non-residential projects can be provided on an individual basis by contacting the company.</li> </ul>
H	County Sanitation Districts of Los Angeles County <sup>1</sup>	September 25, 2014	September 29, 2014	<ul style="list-style-type: none"> <li>The letter clarifies and updates information regarding the City's wastewater treatment.</li> </ul>

NOTES: 1. Comments were received after the close of the official public comment period for the Draft EIR, which was open from August 1, 2014 through September 15, 2014.

The responses to comments to the above letters are presented below. These responses do not significantly alter the proposed project, change the Draft EIR's significance conclusions, or result in a conclusion such that significantly more severe environmental impacts would result from the proposed project. Instead, the information presented in the responses to comments "merely clarifies or amplifies or makes insignificant modifications" in the Draft EIR, as is permitted by CEQA Guidelines Section 15088.5(b).

Regarding recirculation of the Draft EIR, *CEQA Guidelines* Section 15088.5 requires the lead agency to recirculate an EIR only when significant new information is added to the EIR after public notice is given of the availability of the Draft EIR for public review. New information added to an EIR is not significant unless the EIR has changed in a way that deprives the public of a meaningful opportunity to comment upon a substantial adverse, environmental effect of the project or a feasible way to mitigate or avoid such an effect that the project's proponent's have declined to implement (*CEQA Guidelines*, Section 15088.5). In summary, significant new information consists of: (1) disclosure of a new significant impact; (2) disclosure of a substantial increase in the severity of an environmental impact; (3) disclosure of a feasible project alternative or mitigation measure considerably different from the others previously analyzed that would clearly lessen environmental impacts of the project but the project proponent declines to adopt it; and/or (4) the Draft EIR was so fundamentally and basically inadequate and conclusory in nature that meaningful public review and comment were precluded (*CEQA Guidelines*, Section 15088.5). Recirculation is not required where, as stated above, the new information added to the EIR merely clarifies or amplifies or makes insignificant modifications in an adequate EIR (*CEQA Guidelines*, Section 15088.5).



September 10, 2014

Commissioner Ruben Garcia  
City of Pico Rivera Planning Commission  
6615 Passons Blvd  
Pico Rivera, CA 90660

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Director  
Los Angeles County  
Department of Public Works

**EXECUTIVE OFFICER**  
**Mark Stanley**

**Re: COMMENTS RELATED TO THE COMPREHENSIVE GENERAL PLAN UPDATE**

Dear Mr. Garcia:

On behalf of Watershed Conservation Authority (WCA), I am providing comments regarding the proposed adoption of a comprehensive General Plan update, and associated Program EIR (PEIR). The WCA is a joint powers agency of the Rivers and Mountains Conservancy and the Los Angeles County Flood Control District, established in 2003 with the purpose of conducting watershed improvement and restoration projects for the San Gabriel and the Lower Los Angeles Rivers.

The WCA facilitates complex planning and design projects for the protection and development of open space, watershed enhancement, green infrastructure, and recreational projects. Most notable in the context of the City of Pico Rivera General Plan update, the WCA is planning the development of a trail-side rest area along the East bank of the San Gabriel River between Beverly Blvd. and San Gabriel River Parkway.

In reviewing the draft General Plan and draft PEIR, the WCA has identified an inconsistent message between the Land Use Element and Healthy Community Element. The proposed Land Use Plan includes revised zoning and zoning classification along the Rio Hondo and San Gabriel River to 'Public Facilities', a designation that does not explicitly allow uses associated with development of greenways, including trails, linear parks and open space. This is contradictory to the General Plan Goal 7 within the Healthy Communities Element. Specifically, Policy 7-12 state that the City will "Partner with the Watershed Conservation Authority to promote and increase recreational opportunities in the City by expanding trails, where feasible, along the portions of the Rio Hondo and San Gabriel river corridors".

While the WCA is very eager to partner with the City, we are concerned that the proposed zoning classification along the river corridors may become a barrier. To alleviate this concern, please consider revisions that may include: 1) reclassification to 'Park/Open Space' zoning, while allowing for flood control and water conservation uses of the Los Angeles Flood Control District, or 2) adjustments to the uses described under 'Public Facilities' to include trails, parks and greenways.

A-1

A-2

At a minimum, the WCA requests the City's consideration to reclassify the parcel identified as AIN 8124-004-901 to 'Park/Open Space' in lieu of 'Public Facilities'. This will allow the WCA to proceed with our proposed development of a trail-side rest area along the San Gabriel River Trail, within this parcel. I've enclosed a letter from the City referencing support for this project. Please note that AIN 8124-004-002 was reclassified to AIN 8124-004-901 to reflect property tax-exempt status.

↑  
A-2

Thank you in advance for your consideration. If you have any questions regarding this comment letter, please feel free to contact my Deputy Executive Officer, Deborah Enos at 626-815-1019 x112 or at [denos@wca.ca.gov](mailto:denos@wca.ca.gov).

Sincerely,



Mark Stanley  
Executive Officer

Enclosure: Letter from Mayor E.A. "Pete" Ramirez dated November 27, 2006

MS:rr

[W:\Correspondence\Comment Letters\Pico\\_Rivera\\_General\\_Plan\\_update.docx](W:\Correspondence\Comment Letters\Pico_Rivera_General_Plan_update.docx)

Exhibit E



November 27, 2006

CITY COUNCIL  
CITY MANAGER

E.A. "PETE" RAMIREZ  
MAYOR

RONALD BELLER  
MAYOR PRO TEM

COUNCIL MEMBERS

DAVID W. ARMENTA  
CARLOS A. GARCIA  
GREGORY SALCEDO

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CITY MANAGER  
(562) 801-4368  
FAX (562) 801-4765

E-MAIL  
EPRAM@PICO-RI.CA.GOV

WEBSITE:  
WWW.PICO-RIVERA.CA

Belinda Faustinos, Executive Officer  
Rivers and Mountains Conservancy  
900 South Fremont Avenue, Annex 2<sup>nd</sup> Floor  
Alhambra, CA 91802

Dear Ms. Faustinos:

The following correspondence is to confirm the City's support for the Mountains Recreation & Conservation Authority's purchase of the tax-defaulted parcel located in the City of Pico Rivera, identified as AP No. 8124-004-002.

It is of our understanding that the said parcel will ultimately be owned by the Watershed Conservation Authority for the sole purpose of the development of a trailhead along the San Gabriel River bike path.

We appreciate your agency's efforts in preserving recreation and open space activities, and look forward to working with you on future projects. If I can be of further assistance, please don't hesitate to contact me or my staff.

Sincerely,

*E.A. Pete Ramirez*  
E.A. "Pete" Ramirez  
Mayor

ER:RC

cc: Jeff Brauckmann  
Raymond Chavez



**Response to Letter A:  
Watershed Conservation Authority**

- A-1 These are introductory comments that introduce the Water Conservation Authority as a joint powers agency of the Rivers and Mountains Conservancy and the Los Angeles County Flood Control District that was established in 2003 with the purpose of conducting watershed improvement and restoration projects for the San Gabriel and Lower Los Angeles Rivers.
- A-2 The WCA expresses concern about proposed Public Facilities zoning classifications along the river corridors that may become a barrier to creating trails along the corridors of the Rio Hondo and San Gabriel River. They request that the City consider either reclassifying those areas as Park/Open Space zones while still allowing flood control and water conservation uses, or amending the language of the Public Facilities zoning classification to allow trails, parks, or greenways. If neither of those options are available, the WCA requests that the City consider reclassifying specific parcels in order to allow the WCA to proceed with their proposed development of a trail-side rest area along the San Gabriel River Trail.

These comments do not address the adequacy of the analyses contained within the EIR; however, the City has reviewed the WCA's comments and will adjust the zoning in those areas to Park/Open Space to accommodate the WCA's plans.



COUNTY OF LOS ANGELES  
DEPARTMENT OF PARKS AND RECREATION

*"Parks Make Life Better!"*

Russ Guiney, Director

John Wicker, Chief Deputy Director

September 15, 2014

Sent via email:juliagonzales@pico-rivera.org

Ms. Julia Gonzalez, Deputy Director  
Community and Economic Development Dept.  
City of Pico Rivera  
6615 Passons Boulevard  
Pico Rivera, CA 90660

Dear Ms. Gonzalez:

**NOTICE OF AVAILABILITY  
DRAFT PROGRAM ENVIRONMENTAL IMPACT REPORT (EIR) FOR  
THE PICO RIVERA GENERAL PLAN UPDATE**

The Draft EIR for the City of Pico Rivera General Plan Update has been reviewed for potential impact on the facilities of Los Angeles County Department of Parks and Recreation (DPR) for which we offer the following comments:

**Page 3.9-6, Table 3.9-1: Existing Parks and Recreational Facilities Serving Pico Rivera:**

1. Please indicate on the table that Whittier Narrows Recreation Area, Whittier Narrows Natural Area/Nature Center and Whittier Narrows Golf Course are owned by the Army Corps of Engineers and operated by DPR, and the Amigo Park is owned and operated by DPR.

B-1

2. Please update the table as follows:

County Parks and Facilities	Size (in acres)	
Whittier Narrows Recreation Area	1,492	973
Whittier Narrows Natural Area/Nature Center	400	133
Whittier Narrows Golf Course	400	278
Amigo Park	2.7	4.52

B-2

3. Please remove the content of the Planned Improvements for Whittier Narrows Recreation Area as it does not apply to this facility.

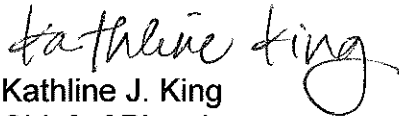
B-3

Ms. Julia Gonzalez  
September 15, 2014  
Page 2

We will be glad to collaborate with the City of Pico Rivera to enhance regional recreational opportunities and to promote the Emerald Necklace vision for the connectivity of multi-use (equestrian, bicycling, and hiking) trails and parks throughout the region.

Thank you for including this Department in the review of this process. For inquiries about DPR trails, please contact Mr. Robert Ettleman at [rettleman@parks.lacounty.gov](mailto:rettleman@parks.lacounty.gov) or (213)351-5134. If we may be of further assistance, please contact Ms. Jui Ing Chien at (213) 351-5129 or [jchien@parks.lacounty.gov](mailto:jchien@parks.lacounty.gov).

Sincerely,



Kathline J. King  
Chief of Planning

KK:JIC:tls/response to City of Pico Rivera General Plan Update EIR

c: Parks and Recreation (N. E. Garcia, F. Moreno, R. Ettleman)

**Response to Letter B:  
Los Angeles County Department of Parks and Recreation**

- B-1 Comments requests that Table 3.9-1 be amended to indicate that the Whittier Narrows Recreation Area, Whittier Narrows Natural Area/Nature Center, and Whittier Narrows Golf Course are owned by the Army Corps of Engineers and are operated by the Los Angeles County Department of Parks and Recreation (DPR). This comment also clarifies that Amigo Park is owned and operated by DPR.

These corrections have been made. Please see Chapter 9, Errata, of the Final EIR as well as into Table 10-1 of the proposed General Plan.

- B-2 This comment corrects the acreages listed in Table 3.9-1 for the Whittier Narrows Recreation Area, Whittier Narrows Natural Area/Nature Center, Whittier Narrows Golf Course, and Amigo Park.

The acreages have been updated. Please see Chapter 9, Errata, for these corrections as well as Table 10-1 of the proposed General Plan.

- B-3 This comment requests that the Planned Improvements listed for the Whittier Narrows Recreation Area be deleted from Table 3.9-1, as those improvements do not apply to that area.

This revision has been incorporated into Chapter 9, Errata, of the Final EIR as well as into Table 10-1 of the proposed General Plan.



ERIC GARCETTI  
Mayor

Commission  
MEL LEVINE, *President*  
WILLIAM W. FUNDERBURK JR., *Vice President*  
JILL BANKS BARAD  
MICHAEL F. FLEMING  
CHRISTINA E. NOONAN  
BARBARA E. MOSCHOS, *Secretary*

MARCIE L. EDWARDS  
General Manager

September 9, 2014

Received  
SEP 16 2014  
Planning Division

Ms. Julia Gonzalez  
Pico Rivera City Hall, Planning Division  
6615 Passons Boulevard  
Pico Rivera, CA 90660

Dear Ms. Gonzalez:

Subject: Draft Program Environmental Impact Report (PEIR) for the City of Pico Rivera  
General Plan Update

The Los Angeles Department of Water and Power (LADWP) appreciates this opportunity to submit comments on your enclosed draft PEIR for the City of Pico Rivera General Plan Update. The City of Pico Rivera General Plan Update impacts an LADWP Transmission Line Right of Way (Victorville-Century Line), and will require review and approval of the LADWP Power System for any developments within said Right of Way (ROW). The general plan identifies the intersection of Rosemead Boulevard and Gallatin Road as an area that will be impacted by the implementation of the general plan. In order to fully address the ROW issues, LADWP is providing the following comments:

- 1) The City of Pico Rivera shall acknowledge the LADWP transmission line rights of way are integral components of the transmission line system, which provides electric power to the City of Los Angeles and other local communities. Their use is under the jurisdiction of the Federal North American Electric Reliability Corporation (NERC). Safety and protection of critical facilities are the primary factors used to evaluate secondary land use proposals. The rights of way serve as platforms for access, construction, maintenance, facility expansion and emergency operations. Therefore, the proposed use may from time to time be subject to temporary disruption caused by such operations.
- 2) Provide plans illustrating the LADWP transmission line right of way boundaries within City of Pico Rivera's General Plan. Include towers and clearances from proposed improvements. Also, provide grading plans, storm drain plans, and street plans, including any other plans illustrating the impacts to the LADWP transmission line ROW.
- 3) Conductor Clearances will be subject to the review and approval of the Transmission Engineering Group. The LADWP may need a copy of the conductor survey illustrating the cross sections showing our existing conductors and proposed improvements.

C-1

C-2

See enclosed LADWP Conductor Survey Instructions. The Transmission Engineering Group will use the data to calculate and confirm that conductor clearances meet the State of California, Public Utilities Commission, General Order 95.

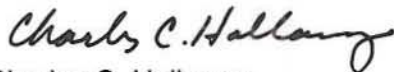
- 4) All construction activities shall adhere to the LADWP's Standard Conditions for Construction (see enclosed).
- 5) Provide the location and elevations (heights) of all above and below ground structures, including the cross sections of existing and proposed improvements within and adjacent to the LADWP transmission line right of way. All ground elevations are to remain unchanged from existing conditions after proposed improvements associated with City of Pico Rivera's General Plan are completed. Cut & fill slopes inside the LADWP transmission line right of way steeper than 2 horizontal to 1 vertical require retaining structures or geotechnical report approval. Note: Grading activity resulting in a vertical clearance between the ground and the transmission line conductor elevation less than thirty-five (35) feet or as noted in the State of California, PUC, General Order 95 within the LADWP transmission line right of way is unacceptable. Ground cover for all below ground utilities shall not be less than four (4) feet.
- 6) When grading activity affects the transmission line access roads, the City of Pico Rivera shall replace the affected access roads using the LADWP's Access Road Design Criteria. See enclosed.
- 7) Cathodic protection system, if any, shall have a design that does not cause corrosion to the LADWP facilities. A detailed design of the cathodic protection system shall be submitted for approval to the LADWP.
- 8) Vehicle parking rights may not be used to satisfy zoning demands, zoning variances, conditional use permits, open space, or parking requirements for building plans and permits, or governmental requirements.
- 9) All aboveground metal structures including, but not limited to, pipes, drainage devices, fences, and bridge structures located within or adjoining the right of way shall be properly grounded, and shall be insulated from any fencing or other conductive materials located outside of the right of way. For safety of personnel and equipment, all equipment and structures shall be grounded in accordance with State of California Code of Regulations, Title 8, Section 2941, and National Electric Code, Article 250.
- 10) The right of way contains high-voltage electrical conductors; therefore, the City of Pico Rivera shall utilize only such equipment, material, and construction techniques that are permitted under applicable safety ordinances and statutes, including the following: State of California Code of Regulations, Title 8, Industrial Relations, Chapter 4, Division of Industrial Safety, Subchapter 5, Electrical Safety Orders; and either California Public Utilities Commission, General Order No. 95, Rules for Overhead Electric Line Construction, or the National Electrical Safety Code, whichever is more restrictive.
- 11) No grading shall be conducted within the LADWP transmission line right of way without prior written approval of the LADWP.
- 12) No structures shall be constructed within the LADWP transmission line right of way without prior written approval of the LADWP.

- 13) The LADWP prohibits drainage structures or the discharging of drainage onto the transmission line rights of way. Concentrated runoff can cause erosion especially to the transmission line tower footings.
- 14) The City of Pico Rivera shall compact all fill slopes within the LADWP transmission line right of way. The compaction shall comply with applicable Building Code requirements.
- 15) An area at least 50 feet around the base of each tower must remain open and unobstructed for necessary maintenance, including periodic washing of insulators by high pressure water spray.
- 16) No grading is allowed below the top of tower footing within the LADWP transmission line right of way, in the immediate vicinity of the towers.
- 17) Additional conditions may be required following review of detailed site plans, grading/drainage plans, etc.
- 18) This reply shall in no way be construed as an approval of any project.

C-2

For questions regarding the above comments and ROW issues, please contact Mr. David Nevarez in Right of Way Engineering at (213) 367-3621. For any other questions, please contact Ms. Stephanie Eatinger of my staff at (213) 367-0968.

Sincerely,



Charles C. Holloway  
Manager of Environmental Planning and Assessment

SE:dms

Enclosures

c/enc: Mr. David Nevarez

Ms. Stephanie Eatinger

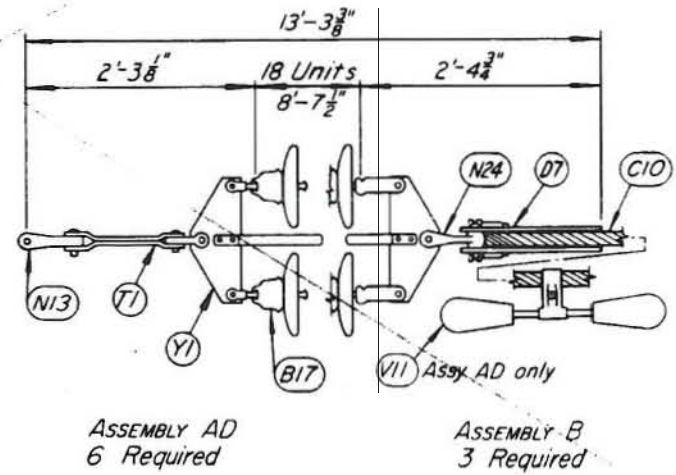
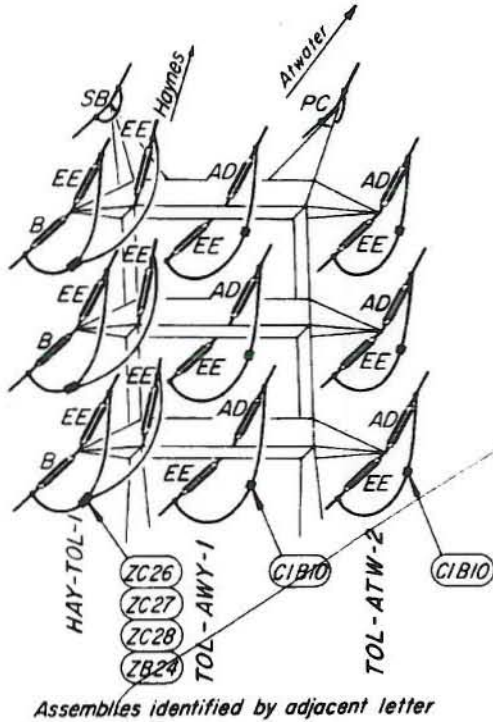
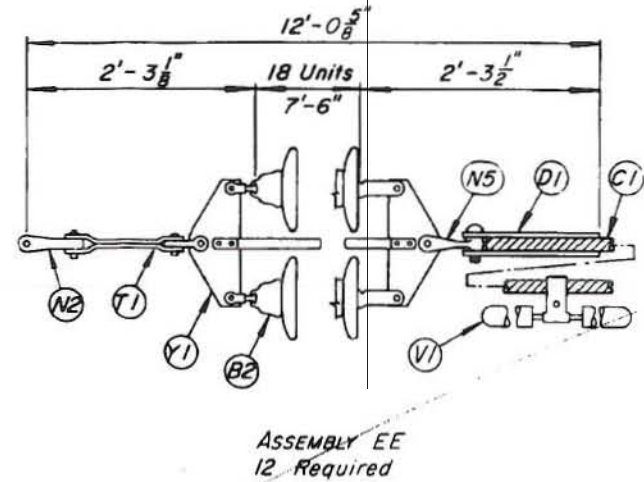
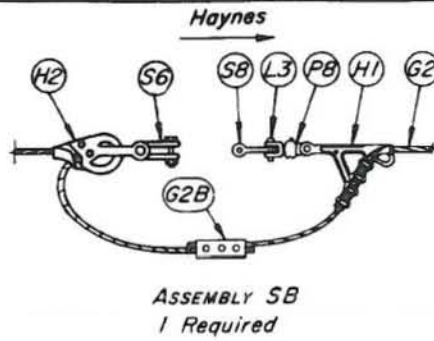
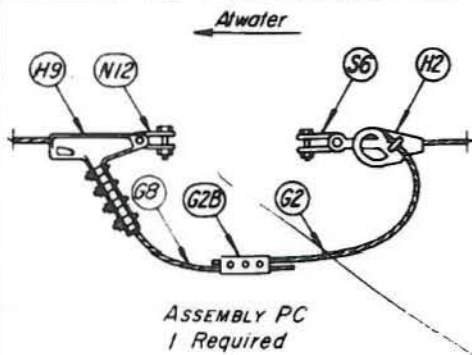
## ACCESS ROAD DESIGN CRITERIA

1. When grading activity affects the Transmission Line access roads, the developer shall replace the affected access roads using the following access road design criteria. Typical Road Sections are illustrated in Attachment.
2. The access road right-of-way width shall be 50 feet minimum.
3. The access road drivable width shall be 20 feet minimum, and increased on curves by a distance equal to 400 divided by the radius of curve. Additional 2 feet on either side of the road shall be provided for berms and ditches, as detailed in the attached Typical Road Sections.
4. The minimum centerline radius of curves shall be 50 feet.
5. The vertical alignment grades shall be limited to 10 percent or paved at a maximum of 15 percent.
6. Roads entirely located on fills or with cross sections showing more than 30 percent fill along the drivable width of the road require paving.
7. Intersections or driveways shall have a minimum sight distance of 300 feet in either direction along the public street.
8. The developer shall provide a commercial driveway at locations where the replaced access roads terminate at, or cross public roads.
9. The developer shall provide lockable gates on LADWP property or easement at locations where access roads terminate or cross public roads.



DEPARTMENT OF WATER AND POWER

TRANSMISSION LINE DATA



Note:  
U-Bolts of D1, D7 and messenger cable of V1 and VII coated with Alcoa No-Ox-Id-A Special compound

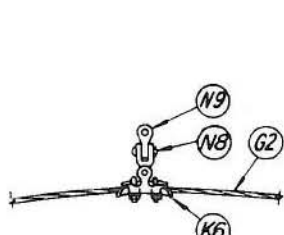
Date 3 - 15 - 84  
DRAWING NUMBER  
**TM 18-6-13H**

INSULATORS AND HARDWARE See  
DEAD END TOWER TD-901  
TOLUCA - ATWATER LINE 2  
TOWER H469 SHEET 1 OF 2

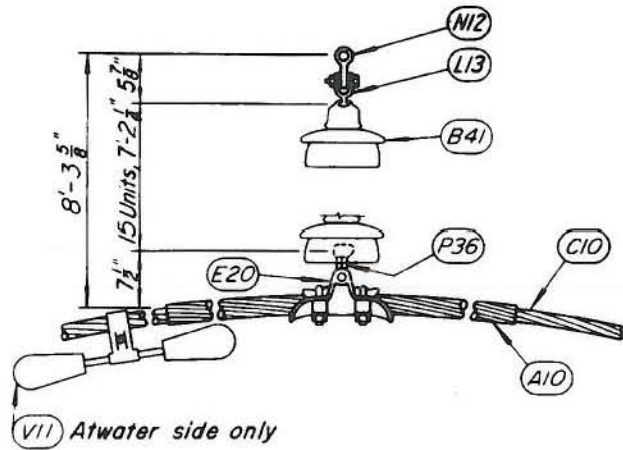
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DRAWING NUMBER  
**TM 18-6-13H**

DEPARTMENT OF WATER AND POWER

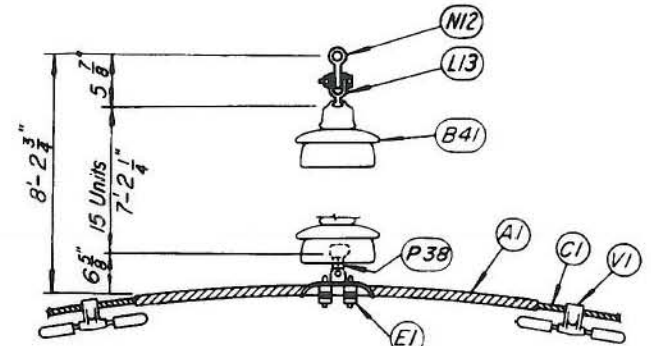
TRANSMISSION LINE DATA



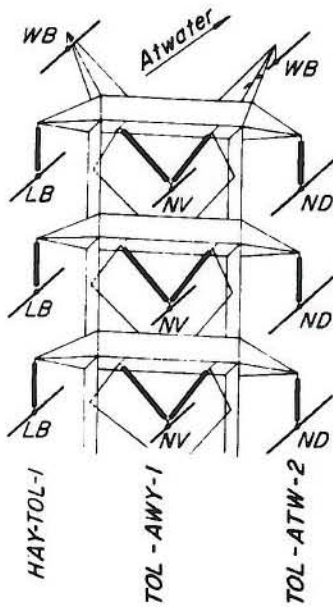
ASSEMBLY WB  
2 Required



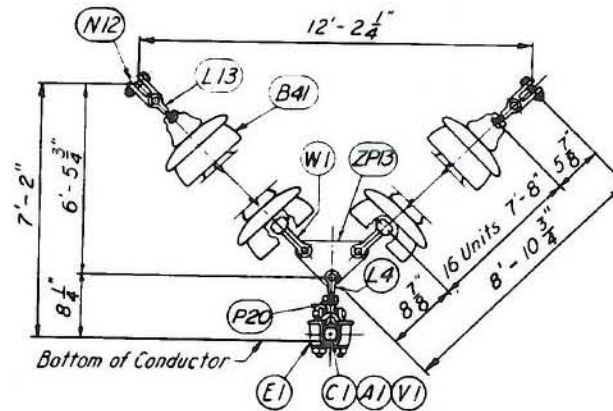
ASSEMBLY LB  
3 Required



ASSEMBLY ND  
3 Required



Assemblies identified by adjacent letter



ASSEMBLY NV  
3 Required

Note:  
U-Bolts of E1, E20 and messenger cable of VI and VII coated with Alcoa No-Ox-Id-A Special compound

Date 3 - 15 - 84

DRAWING NUMBER

TM 18-6-15H

INSULATORS AND HARDWARE  
SUSPENSION TOWER  
TOLUCA - ATWATER LINE 2

SHEET 1 OF 2

Date 3 - 15 - 84

DRAWING NUMBER

TM 18-6-15H



**CONDUCTOR SURVEY  
DEPARTMENT OF WATER AND POWER  
OVERHEAD TRANSMISSION ENGINEERING**

Please perform a survey of each Department transmission line affected by the project. For each span (the section of wire between two (2) towers) provide the following information:

1. The tower numbers of the Department transmission lines related to the span. The tower number is located near ground level on at least one (1) leg of each tower.
2. Survey the top-of-concrete of each footing of each tower related to this survey. For example, a survey involving one (1) span would involve two (2) towers, each with four (4) footings, for a total of eight (8) top-of-concrete shots.
3. Survey at least eight (8) points along the span – the two (2) points where the insulator attaches to the tower, the two (2) points where the wire attaches to the insulator, and four (4) additional points along the wire (preferred spacing of 200 – 300 feet). See attached Conductor Attachments Points for additional information. Include additional points where special features of the proposed improvements cross the transmission line (such as high points, street lights, signs, etc.). For each point provide the following information:
  - a. The station relative to that particular span
  - b. The elevation of the wire
  - c. The existing ground elevation
  - d. The proposed ground elevation
  - e. Date and Time
  - f. Temperature
  - g. Sunlight (sunny, partly cloudy, or cloudy)
  - h. Approximate wind speed

**Important:** All eight (8) wire shots on each individual span shall be completed within one (1) hour after the first wire shot is made. Failure to comply with this requirement will render data useless.

\* See attached Data Sheet for sample of submittal document.



STANDARD CONDITIONS FOR CONSTRUCTION

1. Energized transmission lines can produce electrical effects including, but not limited to, induced voltages and currents in persons and objects. Licensee hereby acknowledges a duty to conduct activities in such manner that will not expose persons to injury or property to damage from such effects.
2. The Los Angeles Department of Water and Power (LADWP) personnel shall have access to the right of way at all times.
3. Unauthorized parking of vehicles or equipment shall not be allowed on the right of way at any time.
4. Unauthorized storage of equipment or material shall not be allowed on the right of way at any time.
5. Fueling of vehicles or equipment shall not be allowed on the right of way at any time.
6. Patrol roads and/or the ground surfaces of the right of way shall be restored by the Licensee to original conditions, or better.
7. All trash, debris, waste, and excess earth shall be removed from the right of way upon completion of the project, or the LADWP may do so at the sole risk and expense of the Licensee.
8. All cut and fill slopes within the right of way shall contain adequate berms, benches, and interceptor terraces. Revegetation measures shall also be provided for dust and erosion control protection of the right of way.
9. All paving, driveways, bridges, crossings, and substructures located within the right of way shall be designed to withstand the American Association of State Highway and Transportation Officials' vehicular loading H20-44 or HL-93. The design shall also comply with applicable design standards.
10. The location of underground pipelines and conduits shall be marked at all points where they cross the boundaries of the right of way and at all locations where they change direction within the right of way. The markings shall be visible and identifiable metal post markers for underground pipelines. Utility markers flush with surface may be used on pavement.

11A. General Grounding Condition

All aboveground metal structures including, but not limited to, pipes, drainage devices, fences, and bridge structures located within or adjoining the right of way shall be properly grounded, and shall be insulated from any fencing or other conductive materials located outside of the right of way. For safety of personnel and equipment, all equipment and structures shall be grounded in accordance with State of California Code of Regulations, Title 8, Section 2941, and National Electric Code, Article 250.

11B. Grounding Condition for Cellular Facilities on Towers

~~All aboveground metal structures including, but not limited to, pipes, drainage devices, fences, and bridge structures located within or adjoining the right of way shall be properly grounded, and shall be insulated from any fencing or other conductive materials located outside of the right of way. For safety of personnel and equipment, all equipment and structures shall be grounded in accordance with American National Standards Institute of Electrical and Electronics Engineers Standard 487 latest edition, IEEE Guide for Safety in AC Substation Grounding.~~

12. Licensee shall neither hold the LADWP liable for nor seek indemnity from the LADWP for any damage to the Licensee's project due to future construction or reconstruction by the LADWP within the right of way.
13. Fires and burning of materials is not allowed on the right of way.
14. Licensee shall control dust by dust-abatement procedures approved by the LADWP, such as the application of a dust palliative or water.
15. The right of way contains high-voltage electrical conductors; therefore, the Licensee shall utilize only such equipment, material, and construction techniques that are permitted under applicable safety ordinances and statutes, including the following: State of California Code of Regulations, Title 8, Industrial Relations, Chapter 4, Division of Industrial Safety, Subchapter 5, Electrical Safety Orders; and California Public Utilities Commission, General Order No. 95, Rules for Overhead Electric Line Construction.
16. Licensee is hereby notified that grounding wires may be buried in the right of way; therefore, the Licensee shall notify the LADWP's Transmission Construction and Maintenance Business Group at (818) 771-5014, or (818) 771-5035, at least 48 hours prior to the start of any construction activities in the right of way.

17A. Vehicle Parking

An area within 50 feet on one side of each tower measured along the longitudinal direction of the right of way, 25 feet on the opposite side of each tower, and ten feet on the remaining two sides of each tower, shall remain open and unobstructed for maintenance and emergencies, including periodic washing of insulators by high-pressure water spray.

17B. Trucking Operations and Storage Operations

An area within 50 feet on one side of each tower measured along the longitudinal direction of the right of way, and 25 feet on the remaining three sides of each tower, shall remain open and unobstructed for maintenance and emergencies, including periodic washing of insulators by high-pressure water spray.

17C. Permanent Structures

An area within 100 feet on all sides of each tower shall remain open and unobstructed for maintenance and emergencies, including periodic washing of insulators by high-pressure water spray.

18. Detailed plans for any grading, paving, and construction work within the right of way

shall be submitted for approval to the Real Estate Business Group, Department of Water and Power, P.O. Box 51111, Room 1031, Los Angeles, California 90051-0100, no later than 45 days prior to the start of any grading, paving, or construction work. Notwithstanding any other notices given by Licensee required herein, Licensee shall notify the LADWP's Transmission Construction and Maintenance Business Group at (818) 771-5014, or (818) 771-5035, no earlier than 14 days and no later than two days prior to the start of any grading, paving, or construction work.

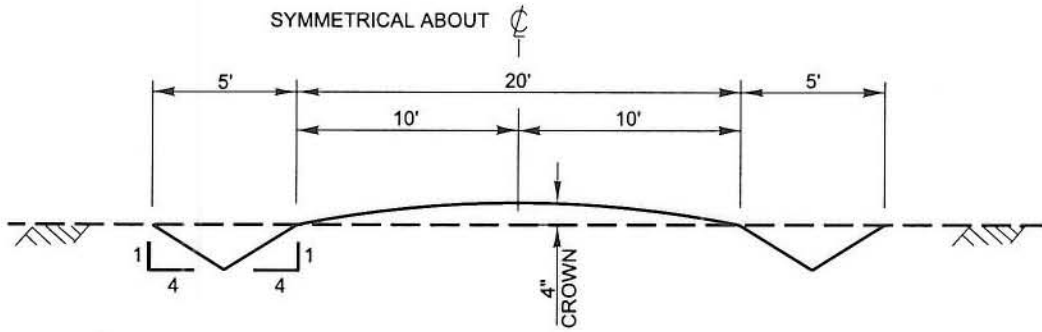
19. "As Constructed" drawings showing all plans and profiles of the Licensee's project shall be furnished to the Real Estate Business Group, Los Angeles Department of Water and Power, P. O. Box 51111, Room 1031, Los Angeles, California 90051-0100, within five days after completion of Licensee's project.
20. In the event that construction within the right of way is determined upon inspection by the LADWP to be unsafe or hazardous to the LADWP facilities, the LADWP may assign a line patrol mechanic at the Licensee's expense.
21. If the LADWP determines at any time during construction that the Licensee's efforts are hazardous or detrimental to the LADWP facilities, the LADWP shall have the right to immediately terminate said construction.
- 22A. All concentrated surface water which is draining away from the permitted activity shall be directed to an approved storm drain system where accessible, or otherwise restored to sheet flow before being released within or from the right of way.
- 22B. Drainage from the paved portions of the right of way shall not enter the unpaved area under the towers. Drainage diversions such as curbs shall be used on three sides of each tower. The open side of each tower shall be the lowest elevation side to allow storm water which falls under the tower to drain. The area under the towers shall be manually graded to sheet flow out from under the towers.
- 22C. Ponding or flooding conditions within the right of way shall not be allowed, especially around the transmission towers. All drainage shall flow off of the right of way.
- 22D. ~~Licensee shall comply with all Los Angeles County Municipal Storm Water Permit and Standard Urban Storm Water Mitigation Plan requirements.~~
- 23A. Fills, including backfills, shall be in horizontal, uniform layers not to exceed six inches in thickness before compaction, then compacted to 90 percent relative compaction in accordance with the American Society for Testing and Materials D1557.
- 23B. The top two inches to six inches of the concrete footings of the towers shall remain exposed and not covered over by any fill from grading operations.
- 23C. ~~Licensee shall provide the LADWP with one copy each of the compaction report and a Certificate of Compacted Fill, for clean fill compaction within the LADWP's right of way in accordance with the American Society for Testing and Materials D1557, approved by a geotechnical engineer licensed in the State of California.~~
24. ~~A surety bond in the amount to be determined by the LADWP shall be supplied by the Licensee to assure restoration of the LADWP's right of way and facilities, and compliance with all conditions herein.~~
25. The Licensee shall obtain and pay for all permits and licenses required for performance



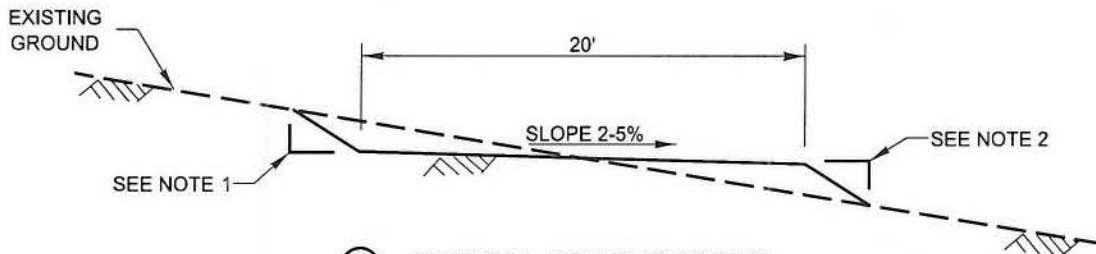
of the work and shall comply with all laws, ordinances, rules, orders, or regulations including, but not limited to, those of any agencies, departments, districts, or commissions of the State, County, or City having jurisdiction thereover.

26. ~~The term "construction", as used herein, refers only to that construction incidental to the maintenance or repair of the existing (requested facility) and shall not be construed to mean permission to construct any additional (requested facility).~~
27. ~~Signs shall not exceed four feet wide by eight feet long, shall not exceed a height of 14 feet, shall be constructed of noncombustible materials, and shall be installed manually at, and parallel with, the right of way boundary.~~
28. Remote-controlled gates, or lock boxes containing the device or key for opening the remote-controlled gates, shall be capable of being interlocked with an LADWP padlock to allow access to the right of way by the LADWP. Licensee shall call (818) 771-5014 to coordinate the installation of an LADWP padlock.
29. Licensee's cathodic protection system, if any, shall have a design that does not cause corrosion to LADWP facilities. A detailed design of the Licensee's cathodic protection system shall be submitted for approval to the Real Estate Business Group, Department of Water and Power, P. O. Box 51111, Room 1031, Los Angeles, California 90051-0100, no later than 45 days prior to the start of construction or installation of the cathodic protection system.
- 30A. Licensee shall install K-rails at a distance of ten feet from each side of the tower base for protection of towers. A distance of five feet from the tower base may be acceptable in locations where the patrol roads would be obstructed.
- 30B. ~~Licensee shall install removable pipe bollards, spaced four feet apart, and at a distance of ten feet from each side of the tower base for protection of towers. A distance of five feet from the tower base may be acceptable in locations where the patrol roads would be obstructed.~~
- 31A. Licensee shall provide and maintain a minimum 20-foot wide transition ramp for the patrol roads from the pavement to the ground surface. The ramp shall not exceed a slope of ten percent.
- 31B. Licensee shall provide and maintain a minimum 20-foot wide driveway and gate at all locations where the (road/street) crosses the LADWP's patrol roads. The designed gates must be capable of being interlocked with an LADWP padlock to allow access to the right of way by the LADWP.
32. ~~Licensee shall post a sign on the entrance gate to the right of way, or in a visible location inside the entrance gate, identifying the contact person's name and telephone number for the prompt moving of (vehicles/trucks/trailers/containers) at times of LADWP maintenance or emergency activities, or any other event that (vehicles/trucks/trailers/containers) must be moved. In emergency conditions, the LADWP reserves all rights at any time to move or tow (vehicles/trucks/trailers/containers) out of specific areas for any transmission operation or maintenance purposes.~~

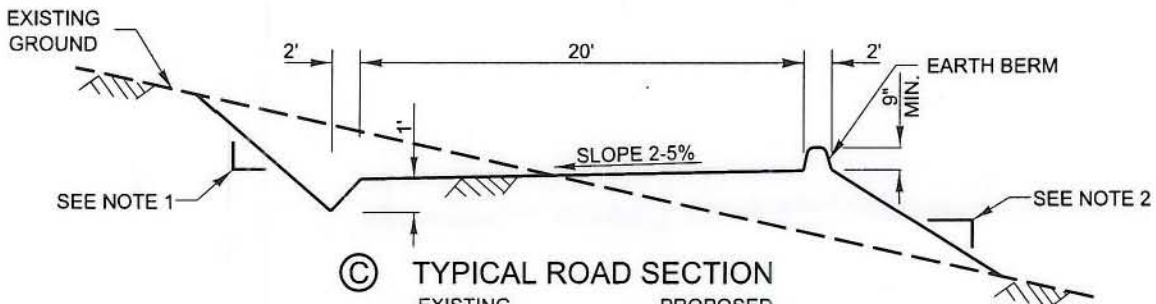
LOS ANGELES DEPARTMENT OF WATER AND POWER  
TRANSMISSION LINE ACCESS ROAD DETAILS



(A) TYPICAL ROAD SECTION  
 EXISTING CROSS SLOPE  $\leq 5\%$   
 PROPOSED ROAD GRADE  $\leq 10\%$   
 10-15% (PAVEMENT REQUIRED)



(B) TYPICAL ROAD SECTION  
 EXISTING CROSS SLOPE 5-15%  
 PROPOSED ROAD GRADE  $\leq 10\%$   
 10-15% (PAVEMENT REQUIRED)



(C) TYPICAL ROAD SECTION  
 EXISTING CROSS SLOPE 15-50%  
 PROPOSED ROAD GRADE  $\leq 10\%$   
 10-15% (PAVEMENT REQUIRED)

NOTES:

1. CUT SLOPE SHALL NOT EXCEED THE FOLLOWING:
  - A. 2 HORIZONTAL TO 1 VERTICAL IN LOOSE OR UNSTABLE MATERIAL.
  - B. 1 HORIZONTAL TO 1 VERTICAL IN COMPACTED MATERIAL.
  - C. 1/2 HORIZONTAL TO 1 VERTICAL IN SOLID ROCK.
2. ALL FILL SLOPES SHALL BE 2 HORIZONTAL TO 1 VERTICAL OR FLATTER.
3. WHERE SOLID ROCK IS ENCOUNTERED THE 4" CROWN AND, OR SIDE DITCHES MAY BE ELIMINATED WHERE DIRECTED BY THE ENGINEER.

**Response to Letter C:  
Los Angeles Department of Water & Power**

C-1 This comment expresses concerns about impacts occurring to DWP energy facilities located within the city due to proposed land use changes. Existing Los Angeles Department of Water & Power (DWP) facilities within the city are described on page 3.10-7. As discussed on page 3.10-26, while the proposed General Plan Update may include changes near or within the rights of way for the energy facilities within the city, these changes would be to a Public Facilities designation that is intended to create consistency between the existing use on the parcel and the land use designation and zoning classification assigned to that parcel. The proposed General Plan Update would not involve designations that would lead to new land uses within the rights of way for either DWP or Southern California Edison (SCE) energy facilities.

The language on page 3.10-26 is amended as follows in order to clarify that no impacts will occur to DWP facilities in addition to SCE facilities:

The proposed Land Use Plan of the proposed General Plan would include changes to land use designations in areas near or within parcels currently occupied by electricity facilities owned by SCE in the northeastern area of the city and owned by DWP in the eastern edge of the Rio Hondo spreading grounds and along the northern boundary of the city. The proposed land use designations would be Public Facilities and are proposed in order to ensure that those parcels remain dedicated to the electrical facilities that are currently there for continued reliable electricity service to the city. The proposed General Plan Update would not allow new or different types of development to occur in those areas than currently exists, and therefore, these proposed land use designation changes would not affect these electrical facilities.

In addition, the City has added the following policy to the proposed General Plan Update to ensure that DWP energy facilities will not be adversely affected by subsequent projects occurring as part of implementation of the proposed General Plan Update:

Policy 6.6-9: Coordinate with DWP on any projects with the potential to impact LADWP transmission line rights-of-way prior to project approval to ensure appropriate clearances, access issues, construction activities, safety, grading, drainage and other such issues are adequately and appropriately addressed.

C-2 These comments provide direction to the City on allowable land use, development standards, and design guidelines for project-specific development proposals that may occur within or near the rights-of-way of DWP energy facilities. Per Policy 6.6-9, the City will coordinate with DWP on any development proposals occurring within the rights-of-way for the transmission lines prior to project approval in order to ensure the project would be consistent with these guidelines.



Edmund G. Brown Jr.  
Governor

STATE OF CALIFORNIA  
Governor's Office of Planning and Research  
State Clearinghouse and Planning Unit



Ken Alex  
Director

Received

SEP 19 2014

Planning Division

September 16, 2014

Julia Gonzalez  
City of Pico Rivera  
6615 Passons Boulevard  
Pico Rivera, CA 90660

Subject: Pico Rivera General Plan Update Draft Program EIR  
SCH#: 2014041021

Dear Julia Gonzalez:

The State Clearinghouse submitted the above named Draft EIR to selected state agencies for review. The review period closed on September 15, 2014, and no state agencies submitted comments by that date. This letter acknowledges that you have complied with the State Clearinghouse review requirements for draft environmental documents, pursuant to the California Environmental Quality Act.

Please call the State Clearinghouse at (916) 445-0613 if you have any questions regarding the environmental review process. If you have a question about the above-named project, please refer to the ten-digit State Clearinghouse number when contacting this office.

Sincerely,

Scott Morgan  
Director, State Clearinghouse

D-1

**Document Details Report  
State Clearinghouse Data Base**

**SCH#** 2014041021  
**Project Title** Pico Rivera General Plan Update Draft Program EIR  
**Lead Agency** Pico Rivera, City of

**Type** EIR Draft EIR  
**Description** Note Reference SCH# 1992071076

The proposed project involves the comprehensive update of the Pico Rivera General Plan and rezoning related to the Housing Element. Updates would occur to the goals and policies to the existing elements as well as the creation of two new elements, including an Economic Prosperity Element and a Healthy Communities Element. The proposed General Plan Update would also include the creation of a new mixed-use land use designation.

**Lead Agency Contact**

**Name** Julia Gonzalez  
**Agency** City of Pico Rivera  
**Phone** 562 801 4447 **Fax**  
**email** juliagonzalez@pico-rivera.org  
**Address** 6615 Passons Boulevard  
**City** Pico Rivera **State** CA **Zip** 90660

**Project Location**

**County** Los Angeles  
**City** Pico Rivera  
**Region**  
**Lat / Long**  
**Cross Streets**  
**Parcel No.**  
**Township**

**Range** **Section** **Base**

**Proximity to:**

**Highways**  
**Airports**  
**Railways**  
**Waterways** San Gabriel and Rio Hondo Rivers  
**Schools**  
**Land Use** Varies

**Project Issues** Agricultural Land; Air Quality; Archaeologic-Historic; Biological Resources; Drainage/Absorption; Flood Plain/Flooding; Forest Land/Fire Hazard; Geologic/Seismic; Minerals; Noise; Population/Housing Balance; Public Services; Recreation/Parks; Schools/Universities; Sewer Capacity; Soil Erosion/Compaction/Grading; Solid Waste; Traffic/Circulation; Water Quality; Water Supply; Growth Inducing; Landuse; Cumulative Effects

**Reviewing Agencies** Resources Agency; Department of Conservation; Department of Fish and Wildlife, Region 5; Cal Fire; Department of Parks and Recreation; Department of Water Resources; Office of Emergency Services, California; California Highway Patrol; Caltrans, District 7; Department of Housing and Community Development; Air Resources Board; Regional Water Quality Control Board, Region 4; Native American Heritage Commission; Central Valley Flood Protection Board; San Gabriel & Lower Los Angeles Rivers & Mountains Conservancy

**Date Received** 08/01/2014 **Start of Review** 08/01/2014 **End of Review** 09/15/2014

***Response to Letter D:  
State of California Office of Planning and Research***

D-1 This letter confirms that the public review period for the Pico Rivera General Plan Update Draft Environmental Impact Report closed on September 15, 2014, and that the Office of Planning and Research (OPR) received no state agencies submitted comments by the close of the public review period.

This letter is part of the OPR's process related to circulation of a Draft EIR. The City thanks the OPR for the notification and no additional response is required.

**From:** [Medak, Christine](#)  
**To:** [Julia Gonzalez](#)  
**Subject:** DEIR for Pico Rivera General Plan Update  
**Date:** Friday, September 19, 2014 11:17:19 AM

---

Ms. Gonzalez,

We did not have an opportunity to provide comments on the proposed general plan update within the formal comment period; however, we request your consideration of the following information when moving forward with plans to approve development within the proposed "Sports Arena" opportunity area. A portion of this opportunity area is located in designated critical habitat for the federally threatened coastal California gnatcatcher (*Poliioptila californica californica*, gnatcatcher). This species is protected under the Endangered Species Act of 1973 (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq.) (ESA). The function of the critical habitat in this particular location is to provide primary connectivity and genetic interchange between significant gnatcatcher populations in the Montebello Hills and Puente-Chino Hills. The potential for dispersal through this area is tenuous due to the the extent of existing development and associated infrastructure. Remaining fragmented patches of coastal sage scrub and open space within the "Sports Arena" opportunity area provide important stepping stones for gnatcatcher population dispersal. When evaluating design alternatives for this area, we request space is allocated to provide for continued dispersal of gnatcatchers through the site. In particular, a corridor of native coastal sage scrub will help to maintain the function of the designated critical habitat in this area. Please feel free to call me if you have any questions regarding this message or need any additional information regarding the gnatcatcher and its critical habitat.

E-1

Christine L. Medak  
Fish and Wildlife Biologist  
U.S. Fish and Wildlife Service  
2177 Salk Avenue, Suite 250  
Carlsbad, CA 92008  
Phone: (760) 431-9440 ext. 298  
Fax: (760) 431-9624  
<http://www.fws.gov/carlsbad/>

Follow us on Facebook at <http://facebook.com/USFWSPacificSouthwest>  
Follow us on Twitter at <http://twitter.com/USFWSPacSWest>

"I'd like to offer a plug for actually having the natural processes instead of having to simulate them."  
— Nadav Nur, PRBO Conservation Science

**Response to Letter E:****United States Fish and Wildlife Service**

E-1 The commenter notes that a portion of the Sports Arena Opportunity Area is located in designated critical habitat for the federally threatened coastal California gnatcatcher (*Polioptila californica californica*, gnatcatcher) and that the function of the critical habitat in this particular location is to provide primary connectivity and genetic interchange between significant gnatcatcher populations in the Montebello Hills and Puente-Chino Hills. The potential for dispersal through this area is tenuous due to the extent of existing development and associated infrastructure. Remaining fragmented patches of coastal sage scrub and open space within the Sports Arena Opportunity Area provide important stepping stones for gnatcatcher population dispersal. The commenter requests that when evaluating design alternatives for this area, the City allocate space within the opportunity area to provide for continued dispersal of gnatcatchers through the site.

The City will need to coordinate any work within the Sports Arena Opportunity Area with several agencies, including the United States Army Corps of Engineers, and any specific design proposals will undergo separate environmental review during which project-specific impacts to biological resources, including impacts to the gnatcatcher, would be analyzed and would be mitigated to the extent feasible. In addition, to further ensure that the gnatcatcher habitat is protected during subsequent actions in this area, the City will expand the following objective for Opportunity Area 7 – Sports Arena/Kruse Road Area in the General Plan:

- Ensure the restoration and protection of natural systems and habitat. ***This includes working with the United States Fish and Wildlife Service on future, project-level design alternatives to ensure that those portions of the opportunity area that contain designated critical habitat for the federally threatened California gnatcatcher are protected and allow for continued dispersal of gnatcatchers through the site.***



**DEPARTMENT OF TRANSPORTATION**  
DISTRICT 7-OFFICE OF TRANSPORTATION PLANNING  
100 S. MAIN STREET, MS 16  
LOS ANGELES, CA 90012  
PHONE (213) 897-9140  
FAX (213) 897-1337  
www.dot.ca.gov



*Serious drought.  
Help save water!*

September 18, 2014

Received

SEP 22 2014

Planning Division

Ms. Julia Gonzalez, Deputy Director  
City of Pico Rivera  
Community and Economic  
Development Department  
6615 Passons Blvd.  
Pico Rivera, CA 90660

RE: Pico Rivera General Plan Update-Draft  
Program Environmental Impact Report  
Vic. LA-60, 605, 05, 19  
SCH # 2014041021  
IGR/CEQA No. 140803AL-NOP

Dear Ms. Gonzalez:

Thank you for including the California Department of Transportation (Caltrans) in the environmental review process for the above referenced project. The proposed project involves the comprehensive update of the Pico Rivera General Plan and rezoning related to the Housing Element.

From Table D, Change in Trip Generation from Traffic Impact Analysis, prepared on July 25, 2014, the proposed General Plan is forecast to generate 3,805 fewer daily trips, with 62 fewer trips in the AM Peak Hour and 294 fewer trips in the PM peak hour than the currently adopted General Plan. Although each individual project may not contribute significant traffic impact to the State facilities, when all individual projects are built, it may contribute significant traffic impacts to the State facilities.

F-1

As a reminder, Caltrans encourages the City to work with neighboring developing cities such as City of Whittier to resolve any cumulative significant traffic impacts on the State facilities. The plan to work with the neighboring cities should be discussed in the Circulation Element of the General Plan or a new Resolution/Policy should be passed such as follows:

- The City will work with neighboring cities to address cumulative significant traffic impact on freeway I-05, SR-60, and SR-605, and on/off ramps as a result of build out of the General Plan
- The City will work with Caltrans to identify potential cumulative traffic impact and mitigation measures.

F-2

Ms. Julia Gonzalez  
September 18, 2014  
Page 2

- The City will form a fair share fee program working with neighboring cities to improve the State facilities.
- The City's existing traffic impact fees will include any State facility improvement as part of the cumulative traffic impact. Procuring funds toward freeway segments, freeway interchanges, freeway on/off-ramps, as well as for bus and rail transit facilities will be in the goals of the City.

↑  
F-2

If you have any questions, please feel free to contact Alan Lin the project coordinator at (213) 897-8391 and refer to IGR/CEQA No. 140803AL.

Sincerely,



DIANNA WATSON  
Branch Chief  
Community Planning & LD IGR Review

cc: Scott Morgan, State Clearinghouse

**Response to Letter F:**

**State of California Department of Transportation**

F-1 This comment summarizes the traffic that would be generated by implementation of the proposed General Plan Update and notes that while each individual project may not contribute significant traffic impacts to State facilities, when all projects are built, there may be significant impacts to State facilities.

Section 3.3, Transportation, considered cumulative impacts on State facilities and determined that the proposed General Plan Update would not result in significant impacts to State facilities after implementation of Mitigation Measures MM-CIRC-1 through MM-CIRC-3.

F-2 This comment requests that the City work with neighboring developing cities to resolve any cumulative significant impacts on State facilities, including Interstate 5, State Route 60, and State Route 605. The comment also requests that the City work with Caltrans to develop mitigation measures for any impacts occurring to these facilities as well as develop a fair share fee program and to include State facility improvements in existing traffic impact fees.

The City has revised policy 5.2-12 Regional Coordination in the General Plan to address the Department of Transportation's concerns related to working with neighboring cities and participating in a fair share program to resolve any cumulative significant impacts on State facilities as follows:

5.2-12 Regional Coordination. Continue to coordinate transportation and land use plans and policies with local and regional planning agencies, and incorporate the Regional Transportation Plan, where feasible. ***This includes:***

- ***Continuing to work with Caltrans and neighboring cities to minimize any cumulative significant impacts on State facilities, including Interstate 5, State Route 60, and State Route 605.***
- ***Participation in the development of a fair share fee program if required by Caltrans, to address mitigation of cumulative significant impacts to the above listed state facilities.***



1919 S. State College Blvd.  
Anaheim, CA 92806-6114



September 22, 2014

City of Pico Rivera  
6615 Passons Blvd.  
Pico Rivera, CA 90660

Attn: Julia Gonzalez

**Subject: Environmental Impact Report for the Pico Rivera General Plan Update**

Thank you for providing the opportunity to respond to this E.I.R. Document. We are pleased to inform you that Southern California Gas Company has facilities in the area where the aforementioned project is proposed. Gas service to the project can be provided from an existing gas main located in various locations. The service will be in accordance with the Company's policies and extension rules on file with the California Public Utilities Commission when the contractual arrangements are made.

This letter is not a contractual commitment to serve the proposed project but is only provided as an informational service. The availability of natural gas service is based upon conditions of gas supply and regulatory agencies. As a Public Utility, Southern California Gas Company is under the jurisdiction of the California Public Utilities Commission. Our ability to serve can also be affected by actions of federal regulatory agencies. Should these agencies take any action, which affect gas supply or the conditions under which service is available, gas service will be provided in accordance with the revised conditions.

This letter is also provided without considering any conditions or non-utility laws and regulations (such as environmental regulations), which could affect construction of a main and/or service line extension (i.e., if hazardous wastes were encountered in the process of installing the line). The regulations can only be determined around the time contractual arrangements are made and construction has begun.

Estimates of gas usage for residential and non-residential projects are developed on an individual basis and are obtained from the Commercial-Industrial/Residential Market Services Staff by calling (800) 427-2000 (Commercial/Industrial Customers) (800) 427-2200 (Residential Customers). We have developed several programs, which are available upon request to provide assistance in selecting the most energy efficient appliances or systems for a particular project. If you desire further information on any of our energy conservation programs, please contact this office for assistance.

Sincerely,

A handwritten signature in black ink, appearing to read "Armando Torrez", written over a white oval background.

Armando Torrez  
Planning Supervisor  
SouthEast Region - Anaheim Planning & Engineering

***Response to Letter G:***

***The Southern California Gas Company***

G-1 The commenter states that The Southern California Gas Company has facilities in the project area available to serve the project. The commenter notes that this letter is not a contractual agreement to serve the project. The commenter also notes that gas usage estimates for residential and non-residential projects can be provided on an individual basis by contacting the company.

These comments do not address the environmental analyses contained within the Draft EIR, but the City thanks the Gas Company for confirmation of their service area and will contact them to obtain estimated gas usage and recommendations for energy efficient solutions for subsequent specific development proposals.



COUNTY SANITATION DISTRICTS OF LOS ANGELES COUNTY

1955 Workman Mill Road, Whittier, CA 90601-1400
Mailing Address: P.O. Box 4998, Whittier, CA 90607-4998
Telephone: (562) 699-7411, FAX: (562) 699-5422
www.lacsd.org

GRACE ROBINSON HYDE
Chief Engineer and General Manager

September 25, 2014

Ref File No.: 3052602

Received

SEP 29 2014

Planning Division

Ms. Julia Gonzalez, Deputy Director
Community and Economic
Development Department
City of Pico Rivera
6615 Passons Boulevard
Pico Rivera, CA 90660

Dear Ms. Gonzalez:

The City of Pico Rivera General Plan Update

The County Sanitation Districts of Los Angeles County (Districts) received a Draft Program Environmental Impact Report for the subject project on August 1, 2014. The City of Pico Rivera (City) is located within the jurisdictional boundaries of Districts Nos. 2 and 18. We offer the following comments:

1. Previous comments submitted by the Districts in correspondence dated May 6, 2014 (copy enclosed) still apply to the subject project with the following updated information.

H-1

2. SECTION 3.10 UTILITIES AND SERVICE SYSTEMS, page 3.10-5, under Wastewater Facilities – The “wastewater flows south to the Los Coyotes Water Reclamation Plant”.

Item No. 4 of the enclosed correspondence states, “The wastewater generated by the City is treated at the Joint Water Pollution Control Plant” (JWPCP) or “the Los Coyotes Water Reclamation Plant.” The JWPCP currently processes an average flow of 264.1 mgd. This should be noted throughout the document.

H-2

3. SECTION 3.10 UTILITIES AND SERVICE SYSTEMS, page 3.10-21, last paragraph – “The addition of 0.82 mgd to the current 37.5 mgd of wastewater treated at the Los Coyotes Water Reclamation Plant would be within the plant’s total capacity.”

H-3

The Los Coyotes Water Reclamation Plant (WRP) has a design capacity of 37.5 mgd and currently processes an average flow of 21.7 mgd. The Los Coyotes WRP design capacity should be revised accordingly and adjusted throughout the document.

Ms. Julia Gonzalez

-2-

September 25, 2014

4. All other information concerning Districts' facilities and sewerage service contained in the document is current. H-4

If you have any questions, please contact the undersigned at (562) 908-4288, extension 2717.

Very truly yours,

Grace Robinson Hyde



Adriana Raza  
Customer Service Specialist  
Facilities Planning Department

AR:ar

Enclosure



COUNTY SANITATION DISTRICTS  
OF LOS ANGELES COUNTY

1955 Workman Mill Road, Whittier, CA 90601-1400  
Mailing Address: P.O. Box 4998, Whittier, CA 90607-4998  
Telephone: (562) 699-7411, FAX: (562) 699-5422  
www.lacsd.org

GRACE ROBINSON HYDE  
Chief Engineer and General Manager

May 6, 2014

Ref File No.: 2941298

Ms. Julia Gonzalez, Deputy Director  
Community and Economic  
Development Department  
City of Pico Rivera  
6615 Passons Boulevard  
Pico Rivera, CA 90660

Dear Ms. Gonzalez:

**The City of Pico Rivera General Plan Update**

The County Sanitation Districts of Los Angeles County (Districts) received a Notice of Preparation of a Draft Environmental Impact Report for the subject project on April 8, 2014. The City of Pico Rivera (City) is located within the jurisdictional boundaries of Districts Nos. 2 and 18. We offer the following comments regarding sewerage service:

1. The Districts own, operate, and maintain only the large trunk sewers that form the backbone of the regional wastewater conveyance system. Local collector and/or lateral sewer lines are the responsibility of the jurisdiction in which they are located. As such, the Districts cannot comment on any deficiencies in the sewerage system in the City except to state that presently no deficiencies exist in Districts' facilities that serve the City. For information on deficiencies in the City sewerage system, please contact the City Department of Public Works and/or the Los Angeles County Department of Public Works.
2. The Districts appreciates the opportunity to review development and redevelopment projects within the City in order to determine whether or not sufficient trunk sewer capacity exists to serve each project and if Districts' facilities will be affected by the project. Please forward information on projects within the City to the undersigned.
3. In order to estimate the volume of wastewater a project will generate, go to [www.lacsd.org](http://www.lacsd.org), Wastewater & Sewer Systems, click on Will Serve Program, and click on the [Table 1, Loadings for Each Class of Land Use](#) link for a copy of the Districts' average wastewater generation factors.
4. The wastewater generated by the City is treated at the Joint Water Pollution Control Plant located in the City of Carson, which has a design capacity of 400 million gallons per day (mgd) and currently processes an average flow of 263.7 mgd, or the Los Coyotes Water Reclamation Plant located in the City of Cerritos, which has a design capacity of 37.5 mgd and currently processes an average flow of 21.2 mgd.



Ms. Julia Gonzalez

-2-

May 6, 2014

5. The Districts are empowered by the California Health and Safety Code to charge a fee for the privilege of connecting (directly or indirectly) to the Districts' Sewerage System for increasing the strength or quantity of wastewater attributable to a particular parcel or operation already connected. This connection fee is a capital facilities fee that is imposed in an amount sufficient to construct an incremental expansion of the Sewerage System to accommodate proposed projects. Payment of a connection fee will be required before a permit to connect to the sewer is issued. For more information and a copy of the Connection Fee Information Sheet, go to [www.lacsd.org](http://www.lacsd.org), Wastewater & Sewer Systems, click on Will Serve Program, and search for the appropriate link. For more specific information regarding the connection fee application procedure and fees, please contact the Connection Fee Counter at extension 2727.
  
6. In order for the Districts to conform to the requirements of the Federal Clean Air Act (CAA), the design capacities of the Districts' wastewater treatment facilities are based on the regional growth forecast adopted by the Southern California Association of Governments (SCAG). Specific policies included in the development of the SCAG regional growth forecast are incorporated into clean air plans, which are prepared by the South Coast and Antelope Valley Air Quality Management Districts in order to improve air quality in the South Coast and Mojave Desert Air Basins as mandated by the CCA. All expansions of Districts' facilities must be sized and service phased in a manner that will be consistent with the SCAG regional growth forecast for the counties of Los Angeles, Orange, San Bernardino, Riverside, Ventura, and Imperial. The available capacity of the Districts' treatment facilities will, therefore, be limited to levels associated with the approved growth identified by SCAG. As such, this letter does not constitute a guarantee of wastewater service, but is to advise you that the Districts intend to provide this service up to the levels that are legally permitted and to inform you of the currently existing capacity and any proposed expansion of the Districts' facilities.

If you have any questions, please contact the undersigned at (562) 908-4288, extension 2717.

Very truly yours,

Grace Robinson Hyde



Adriana Raza  
Customer Service Specialist  
Facilities Planning Department

AR:ar

**Response to Letter H:****County Sanitation Districts of Los Angeles County**

H-1 Section 3.10, Utilities and Service Systems, of the Draft EIR incorporated information, as necessary, from the letter received on May 6, 2014 from County Sanitation Districts of Los Angeles County (LACSD) as part of the Notice of Preparation for the Pico Rivera General Plan Update project, including estimates of the project's wastewater generation using the LACSD's generation factors, and LACSD's role in reviewing subsequent project proposals in the city. However, the information in the setting section will be corrected to include information regarding conveyance of City wastewater to the Joint Water Pollution Control Plant in the City of Carson (see also Chapter 9, Errata, of this Final EIR).

Page 3.10-5 is revised as follows:

The City of Pico Rivera Sewer Maintenance Program is responsible for the collection of wastewater within the city limits and delivery to the trunk sewer mains of LACSD. After sewage is collected locally and delivered to the regional trunk lines, wastewater flows to the Joint Water Pollution Control Plan (JWPCP) in the City of Carson, which has a design capacity of 400 mgd and currently processes 264.1 mgd, or south to the Los Coyotes Water Reclamation Plant of LACSD located in the City of Cerritos, which has a design capacity of 37.5 mgd and currently processes an average flow of 21.27 mgd (LACSD, 2014). LACSD is responsible for all regional trunk sewer lines and sewage treatment, while the City is responsible for the operation and maintenance of sewer mains and lift stations within the Planning Area.

In addition, page 3.10-21 is revised as follows:

As stated earlier, wastewater generated in the city is conveyed to Los Coyotes Water Reclamation Plant and the JWPCP. The JWPCP has a design capacity of 400 mgd and currently processes an average flow 264.1 mgd, and the Los Coyotes WRP has a design capacity of 37.5 mgd and currently processes an average flow of 21.7 mgd. The addition of 0.82 mgd to the current 37.5 mgd of wastewater treated at the Los Coyotes Water Reclamation Plant would be within the plant's total capacity of these two plants.

H-2 This information has been updated (see response to comment H-1 and Chapter 9, Errata).

H-3 This information has been updated (see response to comment H-1 and Chapter 9, Errata).

H-4 The City appreciates the District's comments and for confirming or updating the information provided in the Draft EIR.

# CHAPTER 9

---

## Errata

This section contains revisions to the Draft EIR. The following corrections and changes are made to the Draft EIR, and are incorporated herein as part of the Final EIR. Revised language or new language is underlined. Deleted language is indicated by strikethrough text.

The changes below were made to the Draft EIR in response to comments received and errata discovered after the Draft EIR was circulated. These corrections and clarifications represent additional information or revisions that do not significantly alter the proposed project, change the Draft EIR's significance conclusions, or result in a conclusion that significantly more severe environmental impacts will result from the proposed project. Instead, the errata made to the Draft EIR below merely "clarifies or amplifies or makes insignificant modifications" in the already adequate Draft EIR, as is permitted by CEQA Guidelines Section 15088.5(b).

The following revisions to the text of the Draft EIR are made:

### Executive Summary

The text on page S-1 is revised as follows:

#### S.1 Introduction

The City of Pico Rivera has prepared this Draft Program Environmental Impact Report (herein referred to as Draft EIR) to provide the public and responsible and trustee agencies information about the potential effects on the local and regional environment associated with adoption of the proposed General Plan Update. This Draft EIR has been prepared pursuant to the California Environmental Quality Act (CEQA).

The text on page S-5 in Table S-1 is revised as follows:

#### 7. Sports Arena/Kruse Road Area

**Issue:** This opportunity area includes the former Bicentennial Park Campgrounds, the Sports Arena, the Pico Rivera Golf Course, north side of Kruse Road industrial area and Streamland Park. The Sports Arena is a major community facility that is physically isolated from the rest of the community, and has circuitous and somewhat confusing access. Few amenities are present to enhance the setting of the arena, which has the ability to attract "A-list" events and entertainers. Adjacent to the arena is an abandoned campground within Corps of Engineers jurisdiction. The City has developed a

Conceptual Site Plan for rehabilitation of the campground and is in the process of implementing the next phases of this project. The City has also received a grant to prepare a feasibility study to evaluate the potential to move the industrial uses on the north side of Kruse Road. Many of the industrial uses along Kruse Road are of a marginal design, and create land use incompatibilities with the adjacent residential neighborhood across Kruse Road. While the Whittier Fertilizer facility is incompatible with adjacent residential uses, it is also a key component in the City's efforts to meet the waste diversion requirements of AB 939. Lands along the northwest side of Kruse Road are encumbered with an existing SCE easement, leaving only a 300-foot-strip of land between Kruse Road and the easement unencumbered. This area also includes the Pico Rivera Golf Course. The golf course is somewhat isolated from other economic development uses within the community ~~and has been underutilized~~. The existing facility is a nine-hole course, and includes a covered driving range and two putting greens. This opportunity area also extends to Streamland Park to the west and includes the Whittier Narrows County Recreational area to the north.

The text on page S-6 in Table S-1 is revised as follows:

#### **10. Northeast Quadrant of the Paramount Boulevard and Slauson Avenue Intersection**

**Issue:** This area is a major employment area and is a major truck traffic generator as well. The northeast quadrant of the Paramount Boulevard and Slauson Avenue intersection is ~~occupied by~~ developed with a poorly designed building formerly used as an indoor swap meet. A UPS trucking facility is located to the north. This quadrant has been identified in the General Plan Housing Element as a potential site for mixed-use development as a means of providing sufficient housing to meet the city's share of regional housing needs. Slauson Avenue is an active truck route that will potentially experience increased truck activity in the future as industrial uses within the northern portion of the city are encouraged to relocate further south. This area provides a transition/buffer from this truck activity to the adjacent single family residential uses.

The text on page S-7 in Table S-1 is revised as follows:

#### **15. San Gabriel River Road and Beverly Boulevard Intersection**

**Issue:** ~~Maintenance yards are currently located at this key entry into the community. This opportunity area includes parcels to the north and south of Beverly Boulevard where it intersects San Gabriel River Parkway. A County maintenance yard and a self-storage warehouse are located at the northwest and northeast corners, respectively, while industrial uses and the City's main maintenance yard are located to the south of Beverly Boulevard.~~

**Opportunity:** ~~There is potential for new community entry statements at this location. The northwest corner of this intersection will be rezoned for mixed use as required by the Housing Element Update. As a key entry to the city, the intersection of San Gabriel River~~

Parkway and Beverly Boulevard should be enhanced through better signage, entry monumentation, landscaping, lighting and a conversion to more appropriate uses, including mixed-use and light industrial. The parcel at the northwest corner of the intersection has been identified in the Housing Element to accommodate the City's 2014-2021 RHNA by providing opportunities for mixed-use development in this area. Therefore, there is potential to work with the County's Public Works Department to relocate the existing maintenance yard to a more appropriate industrial location.

The text on page S-9 is revised as follows:

## **Zoning Code Amendments**

~~The project would also include the rezoning of sites to meet Housing Element Program 15, the provision of adequate housing sites. The project includes rezoning of sites to meet the requirements of the adopted Housing Element, specifically as required by Program 15 of the Housing Plan to meet the provision for adequate housing sites. Specifically As such, the City would amend the Zoning Ordinance to establish a mixed use overlay zone and rezone identified sites in Section 6 of the approved Housing Element. The mixed use overlay zone would permit by right residential development at the Housing Element sites at a minimum density of 30 dwelling units per acre. To comply with AB 2348, at least 50 percent of the remaining lower income need would be accommodated on sites designated for exclusively residential uses. Identified sites to be rezoned exclusively residential would permit by right residential development to accommodate a minimum 20 dwelling units per acre to at least 30 dwelling units per acre. All housing sites are identified in the 2014-2021 Housing Element, which was adopted by the City Council on October 8, 2013. The proposed zoning code amendments are required to comply with the requirements of the approved Housing Element. In addition, zoning on certain parcels will be amended in order to be consistent with the proposed land use changes. These zoning changes would utilize existing zoning designations.~~

The project also includes amendments to the Zoning Ordinance. These changes include the establishment of a new Mixed-Use Overlay zone, the rezoning of sites as identified in Section 6 of the approved Housing Element and updates to the zoning classifications for certain parcels to be consistent with proposed land use changes.

The Mixed-Use Overlay zone will implement the Mixed-Use land use designation. To achieve consistency with the General Plan Update and proposed land use changes, updates will be made to the zoning classifications for certain parcels utilizing existing zoning designations.

All housing sites are identified in the 2014-2021 Housing Element, which was adopted by the City Council on October 8, 2013. The proposed zoning code amendments are required to comply with the requirements of the approved Housing Element For housing element sites, by right residential development would be permitted at a maximum of 30 dwelling units per acre.

The text on page S-17 in Table S-3 is revised as follows:

**MM-NOI-2:** Approval of development permits shall ensure that the operating hours of all future industrial-related developments that are located adjacent to residential properties within the Planning Area be restricted from ~~6~~7A.M. to ~~6~~7P.M., ~~Monday~~Sunday through ~~Friday~~Saturday, and that noise levels generated by the industrial operation be prohibited from exceeding 65 dBA at all times when measured from an adjacent residential property line pursuant to Section 18.40.050 of the City's Municipal Code.

The text on page S-19 in Table S-3 is revised as follows:

Utilities and Service Systems

## Introduction (Chapter 1 of the Draft EIR)

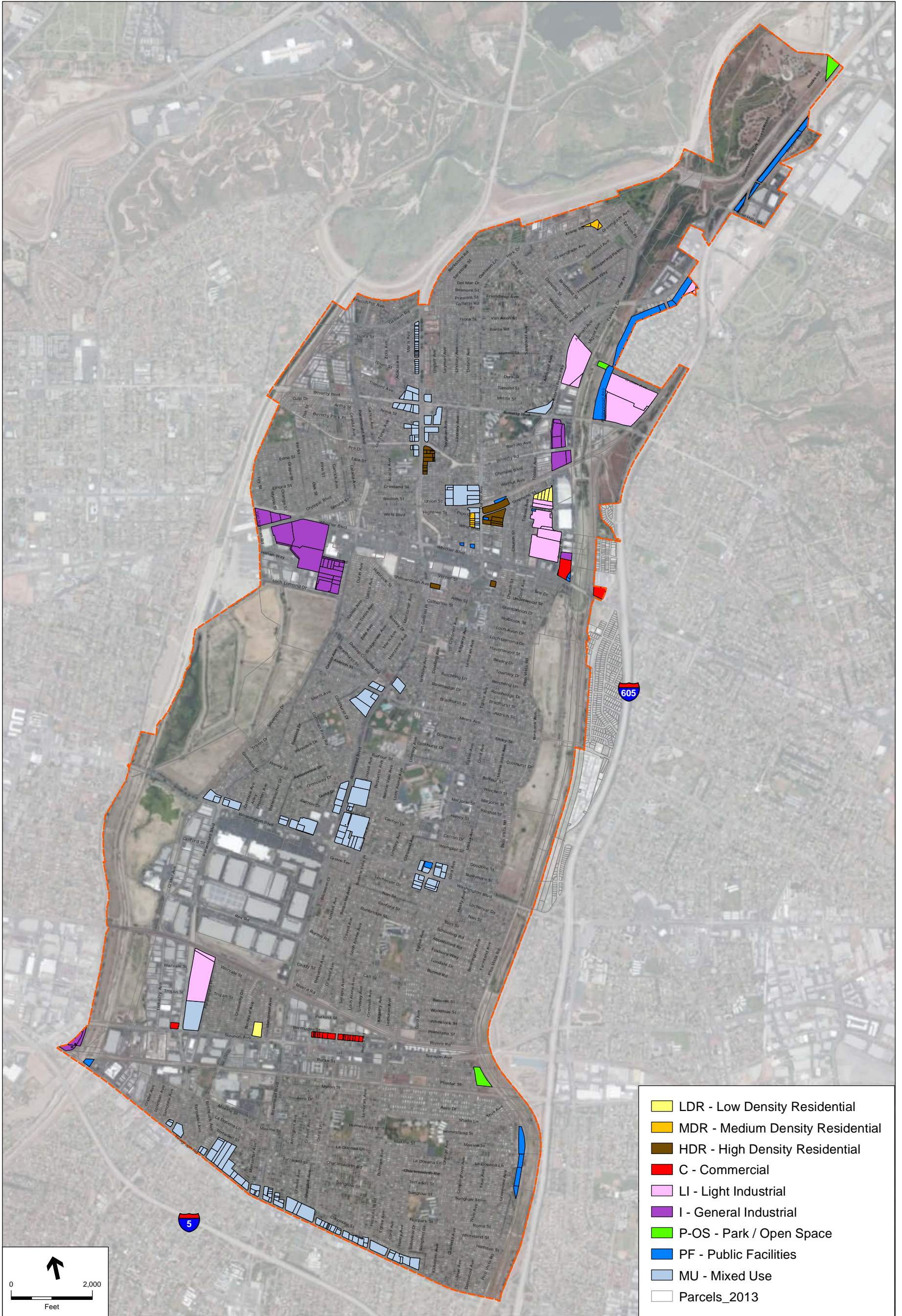
The text on page 1-1 is revised as follows:

The purpose of this Program EIR (referred to throughout this document as Draft EIR or EIR) is to analyze the environmental impacts related to implementation of the proposed Pico Rivera General Plan Update and zoning amendments.

## Project Description (Chapter 2 of the Draft EIR)

Page 2-17, Figure 2-4, Proposed Land Use Changes, was updated to reflect minor revisions made by City staff (see revised figure below).

Page 2-18, Figure 2-5, Proposed Land Use Plan, was updated to reflect minor revisions made by City staff (see revised figure below).



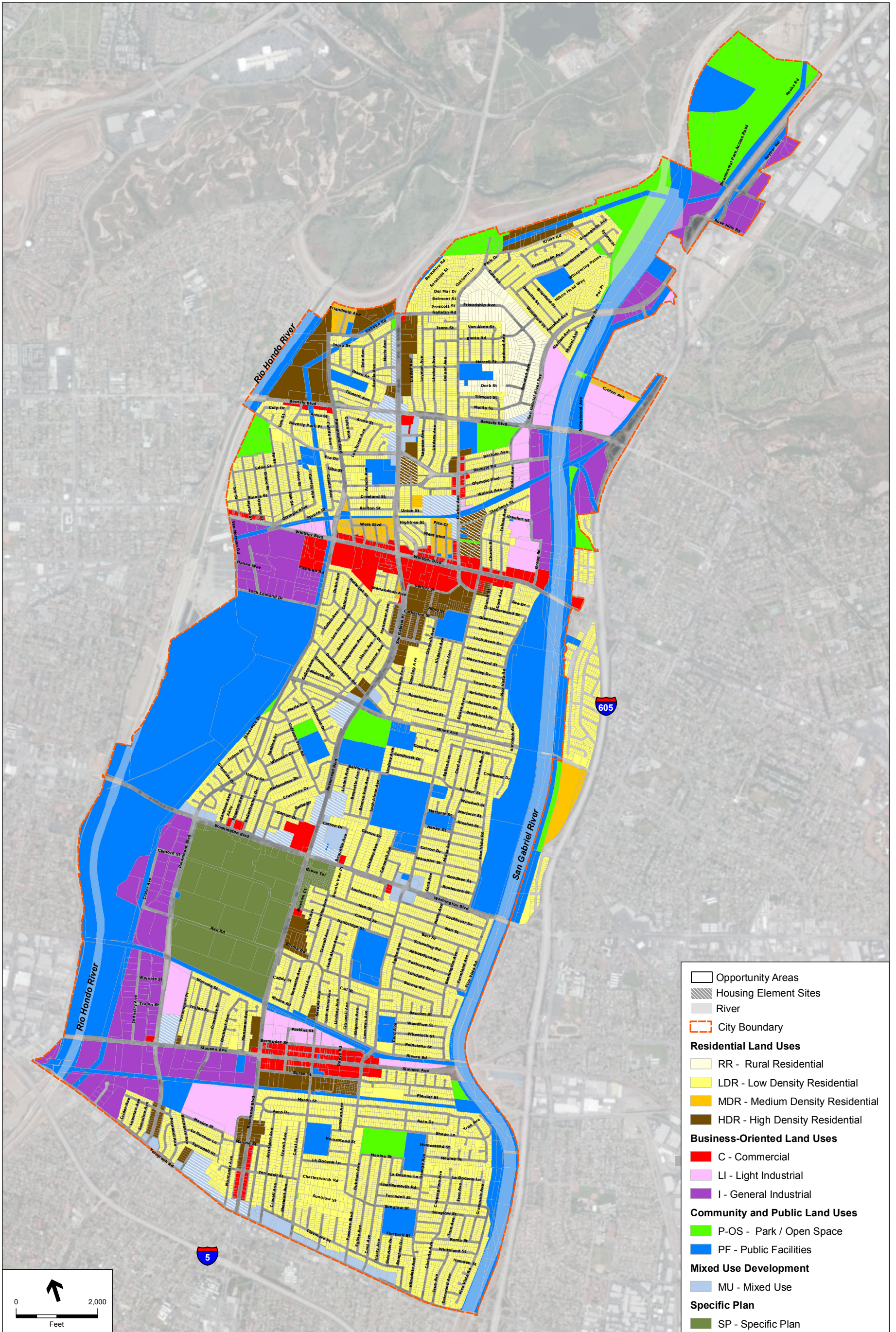
SOURCE: ESRI

Pico Rivera General Plan Update EIR . 211821

**Figure 2-4**  
Proposed Land Use Changes

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SOURCE: ESRI

Pico Rivera General Plan Update EIR . 211821  
**Figure 2-5**  
 Proposed Land Use Plan

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Page 2-20 in Table 2-3 is revised as follows:

### **7. Sports Arena/Kruse Road Area**

**Issue:** This opportunity area includes the former Bicentennial Park Campgrounds, the Sports Arena, the Pico Rivera Golf Course, north side of Kruse Road industrial area and Streamland Park. The Sports Arena is a major community facility that is physically isolated from the rest of the community, and has circuitous and somewhat confusing access. Few amenities are present to enhance the setting of the arena, which has the ability to attract “A-list” events and entertainers. Adjacent to the arena is an abandoned campground within Corps of Engineers jurisdiction. The City has developed a Conceptual Site Plan for rehabilitation of the campground and is in the process of implementing the next phases of this project. The City has also received a grant to prepare a feasibility study to evaluate the potential to move the industrial uses on the north side of Kruse Road. Many of the industrial uses along Kruse Road are of a marginal design, and create land use incompatibilities with the adjacent residential neighborhood across Kruse Road. While the Whittier Fertilizer facility is incompatible with adjacent residential uses, it is also a key component in the City’s efforts to meet the waste diversion requirements of AB 939. Lands along the northwest side of Kruse Road are encumbered with an existing SCE easement, leaving only a 300-foot-strip of land between Kruse Road and the easement unencumbered. This area also includes the Pico Rivera Golf Course. The golf course is somewhat isolated from other economic development uses within the community ~~and has been underutilized~~. The existing facility is a nine-hole course, and includes a covered driving range and two putting greens. This opportunity area also extends to Streamland Park to the west and includes the Whittier Narrows County Recreational area to the north.

The text on page 2-21 in Table 2-3 is revised as follows:

### **10. Northeast Quadrant of the Paramount Boulevard and Slauson Avenue Intersection**

**Issue:** This area is a major employment area and is a major truck traffic generator as well. The northeast quadrant of the Paramount Boulevard and Slauson Avenue intersection is ~~occupied by~~ developed with a poorly designed building formerly used as an indoor swap meet. A UPS trucking facility is located to the north. This quadrant has been identified in the General Plan Housing Element as a potential site for mixed-use development as a means of providing sufficient housing to meet the city’s share of regional housing needs. Slauson Avenue is an active truck route that will potentially experience increased truck activity in the future as industrial uses within the northern portion of the city are encouraged to relocate further south. This area provides a transition/buffer from this truck activity to the adjacent single family residential uses.

The text on page 2-22 in Table 2-3 is revised as follows:

### **15. San Gabriel River Road and Beverly Boulevard Intersection**

Issue: Maintenance yards are currently located at this key entry into the community. This opportunity area includes parcels to the north and south of Beverly Boulevard where it intersects San Gabriel River Parkway. A County maintenance yard and a self-storage warehouse are located at the northwest and northeast corners, respectively, while industrial uses and the City's main maintenance yard are located to the south of Beverly Boulevard.

Opportunity: There is potential for new community entry statements at this location. The northwest corner of this intersection will be rezoned for mixed use as required by the Housing Element Update. As a key entry to the city, the intersection of San Gabriel River Parkway and Beverly Boulevard should be enhanced through better signage, entry monumentation, landscaping, lighting and a conversion to more appropriate uses, including mixed-use and light industrial. The parcel at the northwest corner of the intersection has been identified in the Housing Element to accommodate the City's 2014-2021 RHNA by providing opportunities for mixed-use development in this area. Therefore, there is potential to work with the County's Public Works Department to relocate the existing maintenance yard to a more appropriate industrial location.

The text on page 2-29 is revised as follows:

## **2.5.2 Zoning Code Amendments**

The project would also include the rezoning of sites to meet Housing Element Program 15, the provision of adequate housing sites. The project includes rezoning of sites to meet the requirements of the adopted Housing Element, specifically as required by Program 15 of the Housing Plan to meet the provision for adequate housing sites. Specifically, as such, the City would amend the Zoning Ordinance to establish a mixed-use overlay zone and rezone identified sites in Section 6 of the approved Housing Element. The mixed-use overlay zone would permit by-right residential development at the Housing Element sites at a minimum density of 30 dwelling units per acre. To comply with AB 2348, at least 50 percent of the remaining lower income need would be accommodated on sites designated for exclusively residential uses. Identified sites to be rezoned exclusively residential would permit by-right residential development to accommodate a minimum 20 dwelling units per acre to at least 30 dwelling units per acre. All housing sites are identified in the 2014-2021 Housing Element, which was adopted by the City Council on October 8, 2013. The proposed zoning code amendments are required to comply with the requirements of the approved Housing Element. In addition, zoning on certain parcels will be amended in order to be consistent with the proposed land use changes. These zoning changes would utilize existing zoning designations.

The project also includes amendments to the Zoning Ordinance. These changes include the establishment of a new Mixed-Use Overlay zone, the rezoning of sites as identified in Section 6 of the approved Housing Element and updates to the zoning classifications for certain parcels to be consistent with proposed land use changes.

The Mixed-Use Overlay zone will implement the Mixed-Use land use designation. To achieve consistency with the General Plan Update and proposed land use changes, updates will be made to the zoning classifications for certain parcels utilizing existing zoning designations.

All housing sites are identified in the 2014-2021 Housing Element, which was adopted by the City Council on October 8, 2013. The proposed zoning code amendments are required to comply with the requirements of the approved Housing Element For housing element sites, by right residential development would be permitted at a maximum of 30 dwelling units per acre.

Page 2-31, Figure 2-7, Zoning Map Amendments, was updated to reflect minor revisions made by City staff (see revised figure below).

## Land Use (Section 3.1 of the Draft EIR)

The text on page 3.1-5 is edited as follows:

### 1993\_Pico Rivera General Plan

## Traffic and Circulation (Section 3.3 of the Draft EIR)

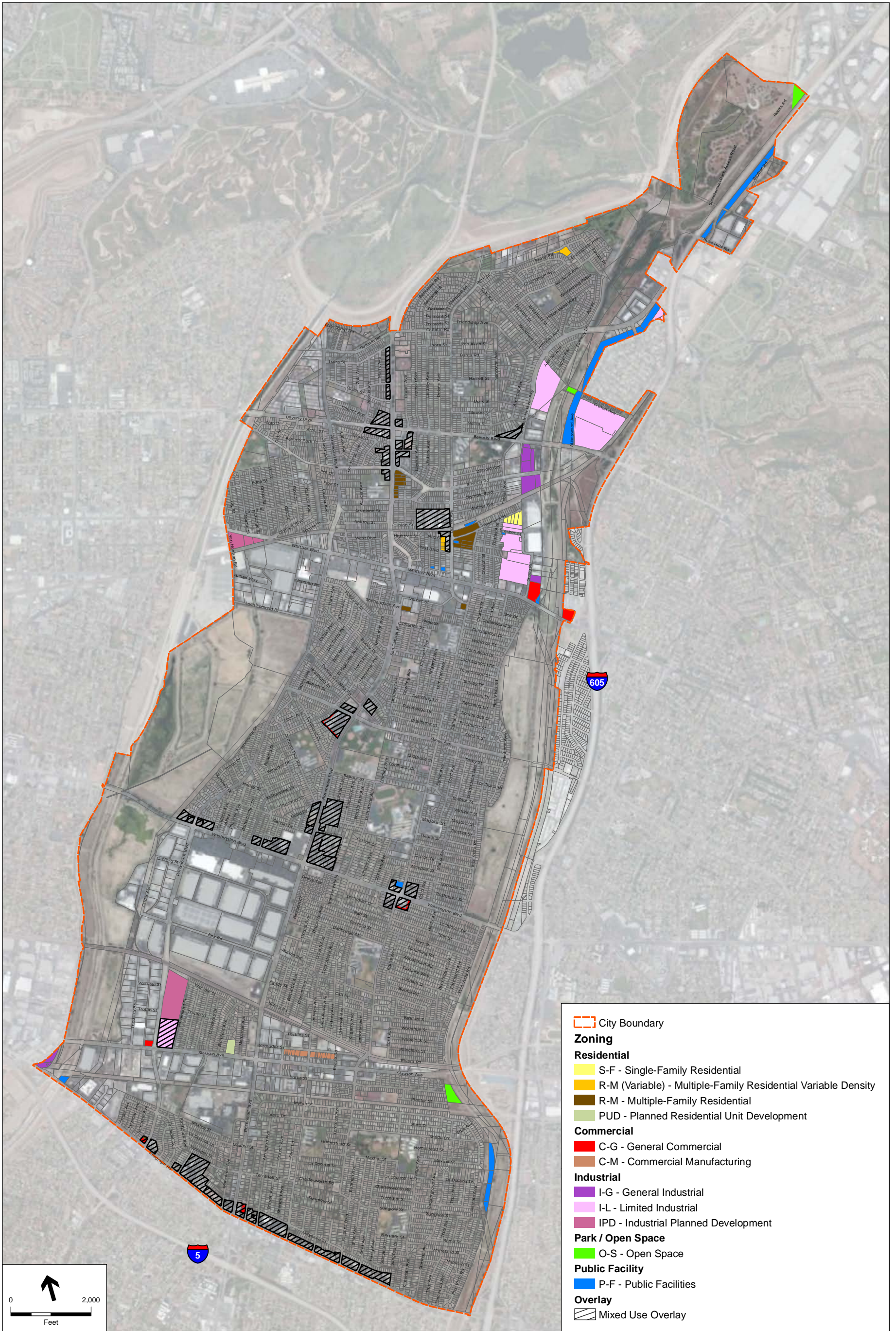
The text on page 3.3-8 has been revised as follows:

Public transportation services in Pico Rivera include bus transit service (Metro and Montebello Bus Lines, and Downey Link), commuter rail transportation (Metrolink), and ~~the City of Pico Rivera Dial a Ride service~~ a Demand Response System (Dial-A-Cab, Dial-A-Van) services. These services are further described below and are illustrated on **Figures 3.3-2 and 3.3-3.**

- Fixed Route Bus Service:** In the City of Pico Rivera, public bus transportation is provided by Metro, Montebello, and Downey Link Bus Lines that provide the city with links to the region. These systems include Metro routes 62, 108, 265, 266, 358; Montebello Bus Lines 10, 40, 50, 60 and express line 342; Downey Link Routes Northwest and Northeast Routes on Telegraph Road. Figure 3.3-2 shows the transit network in the city.
- Commuter Rail Service:** Metrolink is a regional rail system that includes commuter and other passenger services, linking communities to employment and activity centers. All Metrolink routes converge at downtown Los Angeles' Union Station. At Union Station, Metrolink connects with the Metro Rail system, which is part of Metro's overall transportation strategy to greatly improve mobility in Los Angeles County and throughout the surrounding southern California area. There are currently no Metrolink stations in the city. The closest Metrolink stations are west of the city limits in the City of Commerce and south of the city in the City of Norwalk. Both stations are on the Orange line, which connects north through downtown Los Angeles, ending in East Ventura. The Norwalk

station is also on the Blue line, which extends from downtown Los Angeles to downtown Riverside in the east.

- ~~**Paratransit Service:** The City of Pico Rivera's Dial A Ride service was inaugurated in 1984 using Proposition "A" sales tax revenue. The service is provided at no cost to residents who are at least 55 years old and to those who are handicapped. The Pico Rivera Dial A Ride fleet includes five vans. All are equipped with a lift for passengers using wheelchairs. Service is available seven days a week. Full daytime service is offered weekdays; Saturday service is available 9 a.m. to 4 p.m. and Sunday service until 1 p.m. Qualified residents may take Dial a Ride trips inside city limits for any purpose such as shopping, attending craft classes, club meetings or appointments, among others. Dial-A-Van and Dial-A-Cab provide free curb-to-curb transportation service within the city to all Pico Rivera residents ages 55 and older and to disabled residents of any age.~~



SOURCE: ESRI

Pico Rivera General Plan Update EIR . 211821

**Figure 2-7**  
Zoning Map Amendments

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The text on page 3.3-9 is revised as follows:

Regional bicycle ~~and off-road biking~~ trails exist along the western side of the Rio Hondo Channel (called the Lario Bike Trail), and eastern side of the San Gabriel River (San Gabriel River Bike Trail). The Lario Bike Trail is the longest bikeway in the Los Angeles River Watershed. These regional trails provide off-street bicycle and pedestrian access to the Whittier Narrows Recreation Area to the north, adjacent cities to the south, and the Pacific Ocean. There are a number of access points to these regional trails near the Planning Area.

## Noise (Section 3.6 of the Draft EIR)

The text on page 3.6-37 is revised as follows:

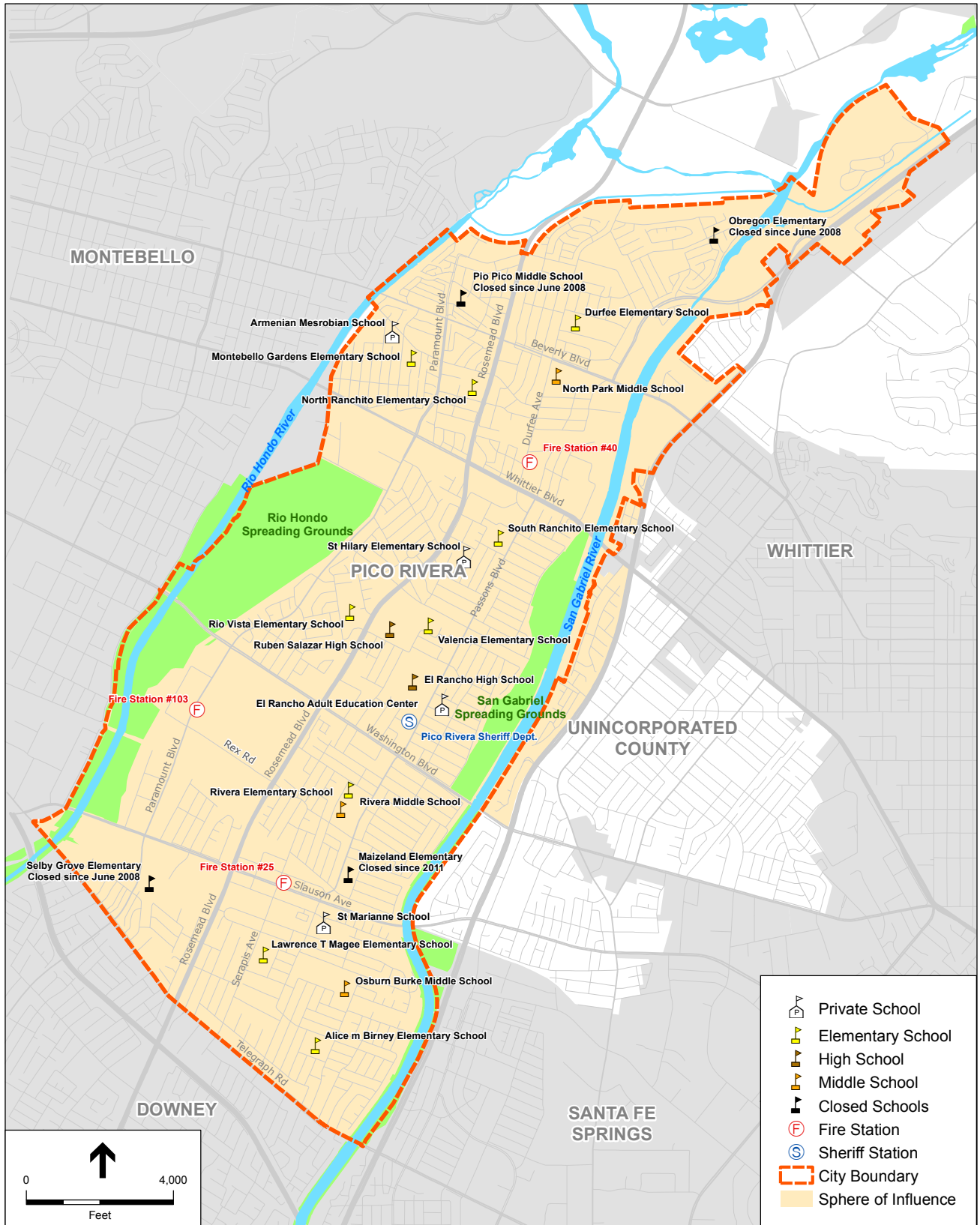
**MM-NOI-2:** Approval of development permits shall ensure that the operating hours of all future industrial-related developments that are located adjacent to residential properties within the Planning Area be restricted from ~~6~~7 A.M. to ~~6~~7 P.M., ~~Monday~~Sunday through ~~Friday~~Saturday, and that noise levels generated by the industrial operation be prohibited from exceeding 65 dBA at all times when measured from an adjacent residential property line pursuant to Section 18.40.050 of the City's Municipal Code.

## Public Services (Section 3.8 of the Draft EIR)

Figure 3.8-1, Public Services, was updated to incorporate the location of El Rancho Unified School District schools that have closed and to include the closure date.

The text on page 3.8-8 is revised as follows:

### **AEffect on Governmental Facilities**



SOURCE: ESRI — Pico Rivera General Plan Update EIR . 211821  
**Figure 3.8-1**  
**Public Services**

## Recreation (Section 3.9 of the Draft EIR)

The text on page 3.9-6 in Table 3.9-1 is revised as follows:

**TABLE 3.9-1  
EXISTING PARK AND RECREATION FACILITIES SERVING PICO RIVERA**

Nearby Park and Recreation Facilities				
Park or Recreation Facility	Address	Existing Amenities	Planned Improvements	Acres
Whittier Narrows Recreation Area <sup>1</sup>	750 Santa Anita Avenue, South El Monte	Picnic grounds, a water sanctuary, fishing lakes, a skeet and trap shooting area, baseball and softball fields, tennis, basketball and volleyball courts, and an archery area.	<del>The Emerald Necklace Park Network Project may include improvements to portions of Streamland Park, the Sports Arena and the former Bicentennial Park campgrounds.</del> The 2010 Whittier Narrows Dam Basin Recreation Area Master Development Plan completed by the Watershed Conservation Authority includes a framework to guide future land use decisions over the long term, based on recreational activities that are compatible with each other and with the underlying natural resources on the site. The Master Development Plan includes portions of Streamland Park, the Pico Rivera Golf Course, as well as the former Bicentennial Park campgrounds and Sports Arena, all within the city limits of Pico Rivera.	4,492 <u>973</u>
Whittier Narrows Natural Area/Nature Center <sup>1</sup>	1000 Durfee Road, South El Monte	A 400-acre sanctuary of riparian woodland that borders the San Gabriel River. It features four lakes, including many plants and animals native to wetland communities and the lakes provide a winter sanctuary for migrating waterfowl.		400 <u>133</u>
Whittier Narrows Golf Course <sup>1</sup>	8640 Rush Street, Rosemead	This facility features 27 regulation holes of golf: one 18-hole regulation course and one 9-hole regulation course.		400 <u>278</u>
Amigo Park <sup>2</sup>	5700 S. Juarez Avenue Whittier	Baseball/Softball Fields, Children's Play Area, Multi-purpose Field, Picnic Areas with BBQ Grill, Walking and Biking Trails		2.7 <u>4.52</u>

**NOTES:**

1. These facilities are owned by the United States Army Corps of Engineers, but are operated by the Los Angeles County Department of Parks and Recreation.

2. This facility is owned and operated by the Los Angeles County Department of Parks and Recreation.

Figure 3.9-1, Existing Park Facilities, was revised with adjustments to the map legend (see revised figure on page 9-17).

## Utilities and Service Systems (Section 3.10 of the Draft EIR)

The text on page 3.10-5 is revised as follows:

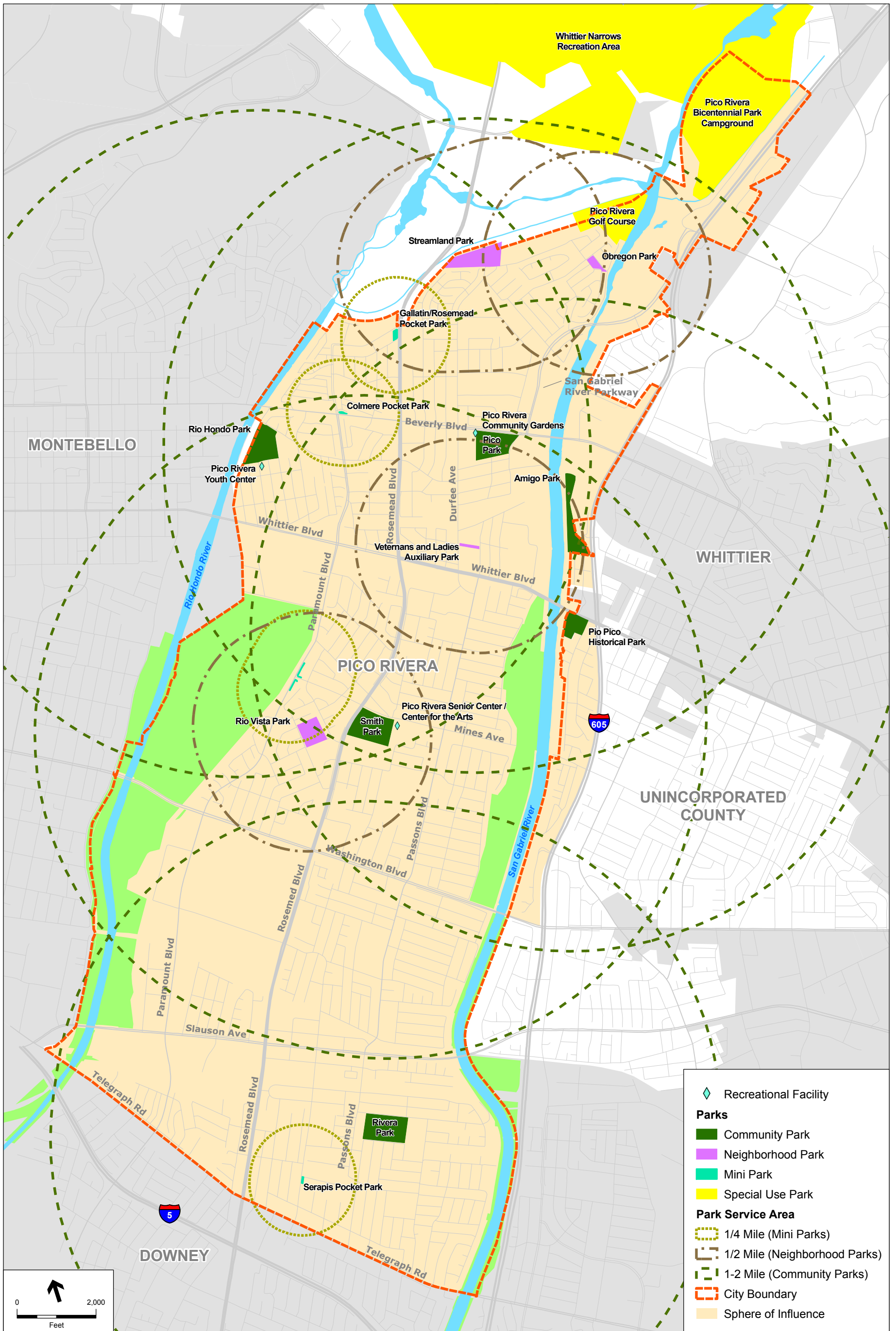
The City of Pico Rivera Sewer Maintenance Program is responsible for the collection of wastewater within the city limits and delivery to the trunk sewer mains of LACSD. After sewage is collected locally and delivered to the regional trunk lines, wastewater flows to the Joint Water Pollution Control Plan (JWPCP) in the City of Carson, which has a design capacity of 400 mgd and currently processes 264.1 mgd, or south to the Los Coyotes Water Reclamation Plant of LACSD located in the City of Cerritos, which has a design capacity of 37.5 mgd and currently processes an average flow of 21.27 mgd (LACSD, 2014). LACSD is responsible for all regional trunk sewer lines and sewage treatment, while the City is responsible for the operation and maintenance of sewer mains and lift stations within the Planning Area.

The text on page 3.10-21 is revised as follows:

As stated earlier, wastewater generated in the city is conveyed to Los Coyotes Water Reclamation Plant and the JWPCP. The JWPCP has a design capacity of 400 mgd and currently processes an average flow 264.1 mgd, and the Los Coyotes WRP has a design capacity of 37.5 mgd and currently processes an average flow of 21.7 mgd. The addition of 0.82 mgd ~~to the current 37.5 mgd of wastewater treated at the Los Coyotes Water Reclamation Plant~~ would be within the ~~plant's~~ total capacity of these two plants.

The text on page 3.10-26 is revised as follows:

The proposed Land Use Plan of the proposed General Plan would include changes to land use designations in areas near or within parcels currently occupied by electricity facilities owned by SCE in the northeastern area of the city and owned by DWP in the eastern edge of the Rio Hondo spreading grounds and along the northern boundary of the city. The proposed land use designations would be Public Facilities and are proposed in order to ensure that those parcels remain dedicated to the electrical facilities that are currently there for continued reliable electricity service to the city. The proposed General Plan Update would not allow new or different types of development to occur in those areas than currently exists, and therefore, these proposed land use designation changes would not affect these electrical facilities.



SOURCE: ESRI

Pico Rivera General Plan Update EIR . 211821  
**Figure 3.9-1**  
 Parks and Recreation Facilities

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## Appendix C: Traffic Impact Analysis

The following letter has been added to Appendix C:

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September 30, 2014

Ms. Kimiko Lizardi  
Community Planning Program Manager  
ESA Southern California Region  
626 Wilshire Boulevard, Suite 1100  
Los Angeles, California 90017

Subject: Pico Rivera General Plan – Land Use Changes

Dear Kimiko:

Translutions, Inc. (Translutions) is pleased to present this memo to address the changes in land uses for the proposed changes to the General Plan land uses since the traffic impact analysis (TIA) was submitted. The City had made some changes to the proposed land use designations for some parcels after the analysis was submitted. Based on our review, these changes will not substantially change the findings of the analysis.

#### AREAS INCLUDED IN THE TIA

There are several areas that are included in the TIA where the land uses have changed since the TIA was submitted. Attachment A lists those planning areas. Based on our review, the changes result in a reduction in net new trips generated in the General Plan. Therefore, the TIA presents a worst case analysis and from a California Environmental Quality Act (CEQA) perspective, the TIA does not need to be changed.

#### NEW AREAS

Table A shows the areas which were not included in the trip generation table in the TIA. A discussion of changes in trip generation due to these changes is included below.

**Table A – Land Use Designations for Parcels not Included in the Trip Generation**

Record Number	APN	ADDRESS	EXISTING GENERAL PLAN	PROPOSED GENERAL PLAN
14	8124-021-801	No Address	General-Industrial (I-G)	Public Facilities (P-F)
15	8124-021-049	No Address	General-Industrial (I-G)	Light Industrial (L-I)
16	8124-021-039	No Address	General-Industrial (I-G)	Light Industrial (L-I)
17	8124-021-041	No Address	General-Industrial (I-G)	Light Industrial (L-I)
18	8124-021-053	No Address	General-Industrial (I-G)	Public Facilities (P-F)
19	8124-006-800	No Address	General-Industrial (I-G)	Public Facilities (P-F)
21	8124-004-901	No Address	Public Facilities (P-F)	Park/Open Space (P-OS)
26	8122-005-271	No Address	Public Facilities (P-F)	Light Industrial (L-I)
132	6375-025-903	9536 Brasher Street	General-Industrial (I-G)	Public Facilities (P-F)
141	6375-027-803	No Address	Restricted Industrial (I-R)	Public Facilities (P-F)
142	6375-027-800	No Address	Restricted Industrial (I-R)	Public Facilities (P-F)

208	6378-029-900	6767 Passons Boulevard	Commercial (C )	Public Facilities (P-F)
222	6369-013-008	7755 Paramount Boulevard	General-Industrial (I-G)	Mixed-Use (M-U)
309	8121-025-023	9036 Beverly Boulevard	Commercial (C )	Mixed-Use (M-U)
310	8121-025-017	4502 Beverly Boulevard	Commercial (C)	Mixed Use (M-U)

#### Record Numbers 14 to 19

Record numbers 14-19 are in the same general area. Based on review of the area in consideration, this area is anticipated to generate similar number of trips although specific parcels could generate more or less trips than those anticipated in the analysis. Therefore, the changes to record numbers 14-19 will not affect the findings of the analysis.

#### Record Number 21

Record number 21 does not change the trip generation estimate.

#### Record Number 26

Record number 26 will result in an increase in trip generation. This parcel is approximately 1 acre and will result in approximately 121 additional daily trips.

#### Record Number 222

Record number 222 is also anticipated to increase the trip generation. An acre of general industrial uses generate approximately 33 trips per day whereas the mixed use designation is anticipated to generate approximately 45 net new trips per acre per day. The lot is approximately 6.93 acres, and therefore, the anticipated increase in trips is approximately 84 trips per day.

#### Remaining Areas

All the remaining changes will result in lesser trips than included in the analysis.


#### CONCLUSION

Based on our review, minor changes to trip generation will occur based on changes to the land use plan. However, these changes are minor and the findings of the TIA will not change due to the proposed changes in the land use designations in the General Plan.

If you have any questions, please do not hesitate to contact me at (949) 232-7954.

Sincerely,

translutions, Inc.

  
Sandipan Chatterjee, P.E., AICP  
Principal